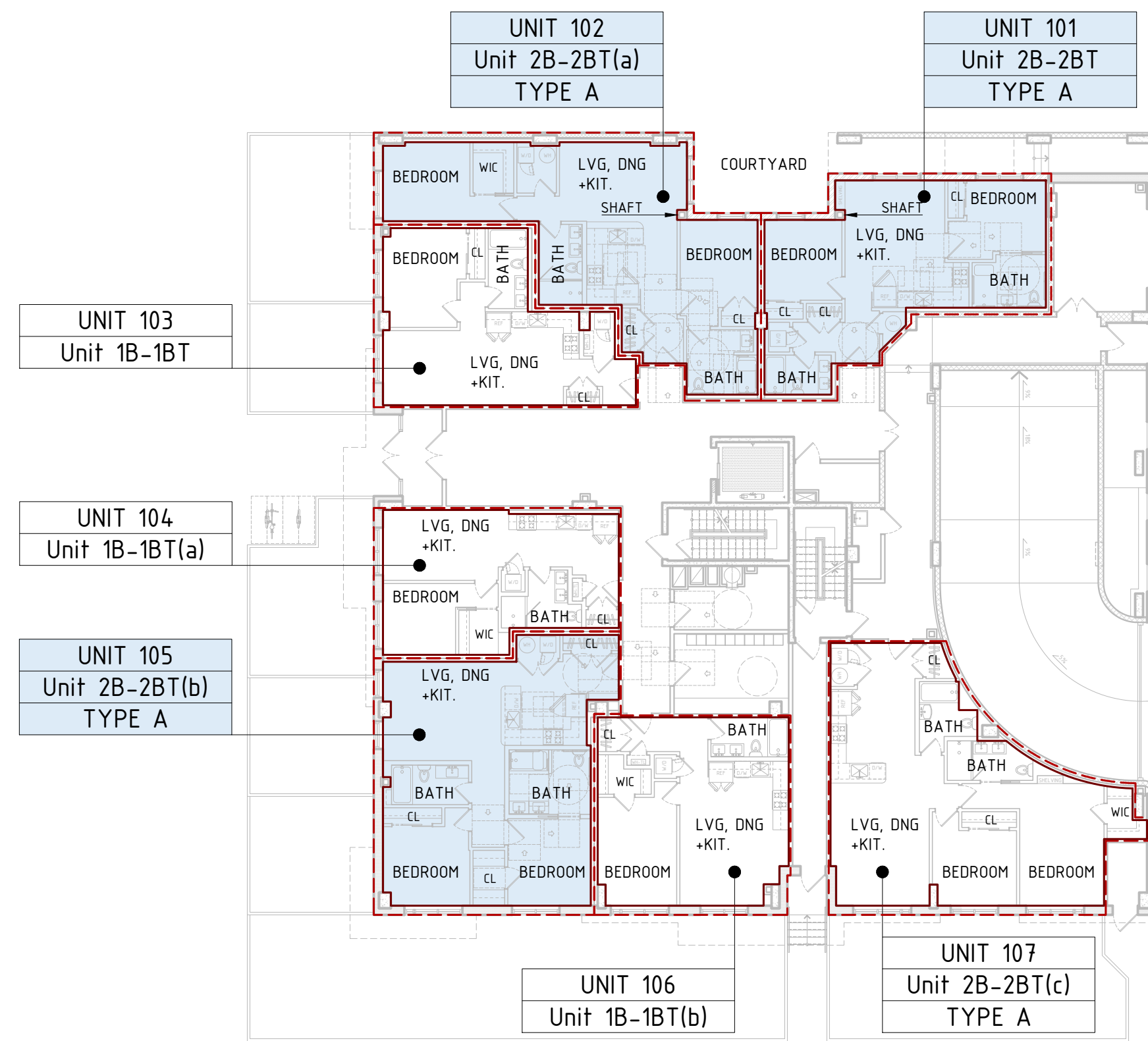
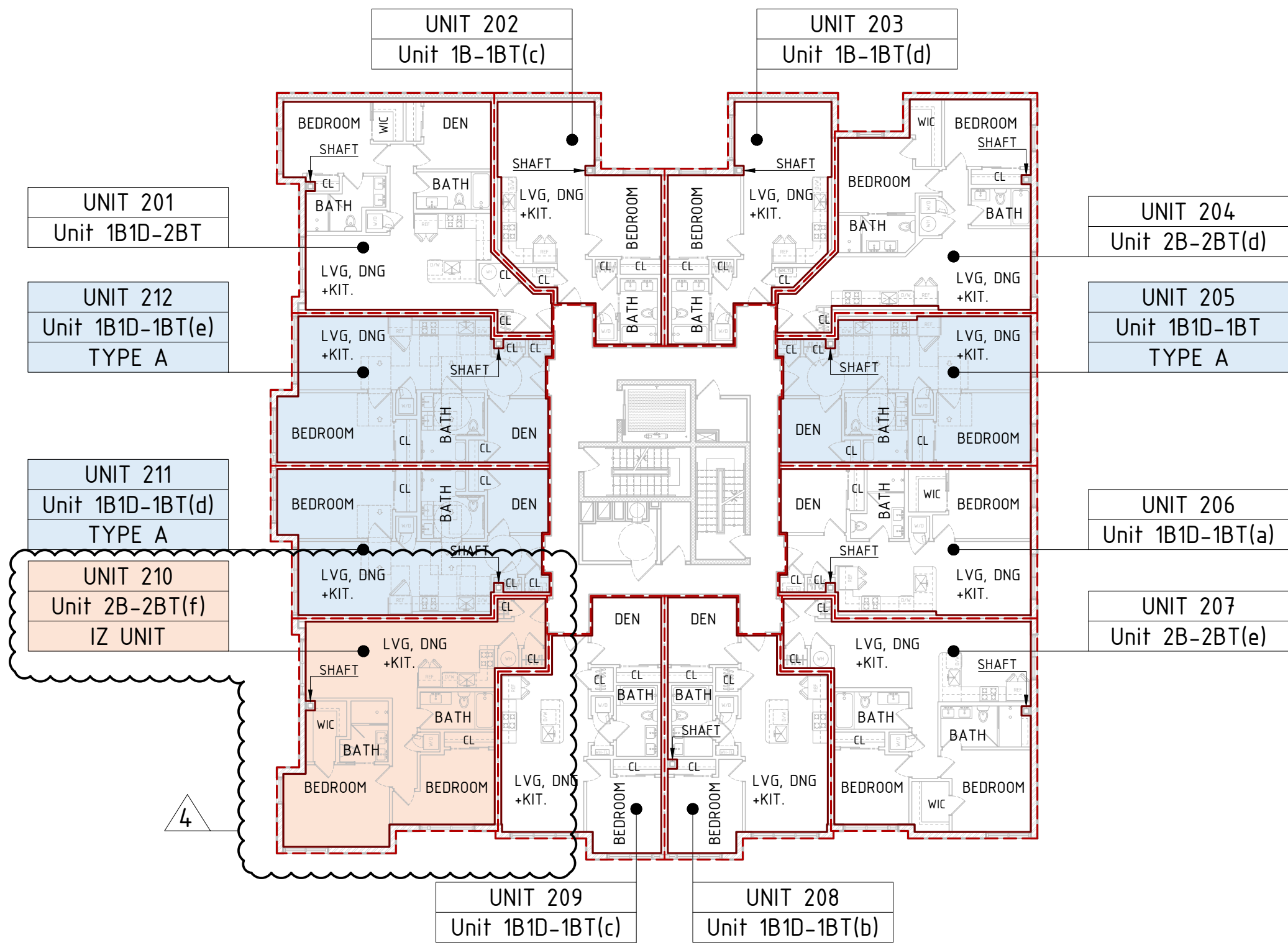
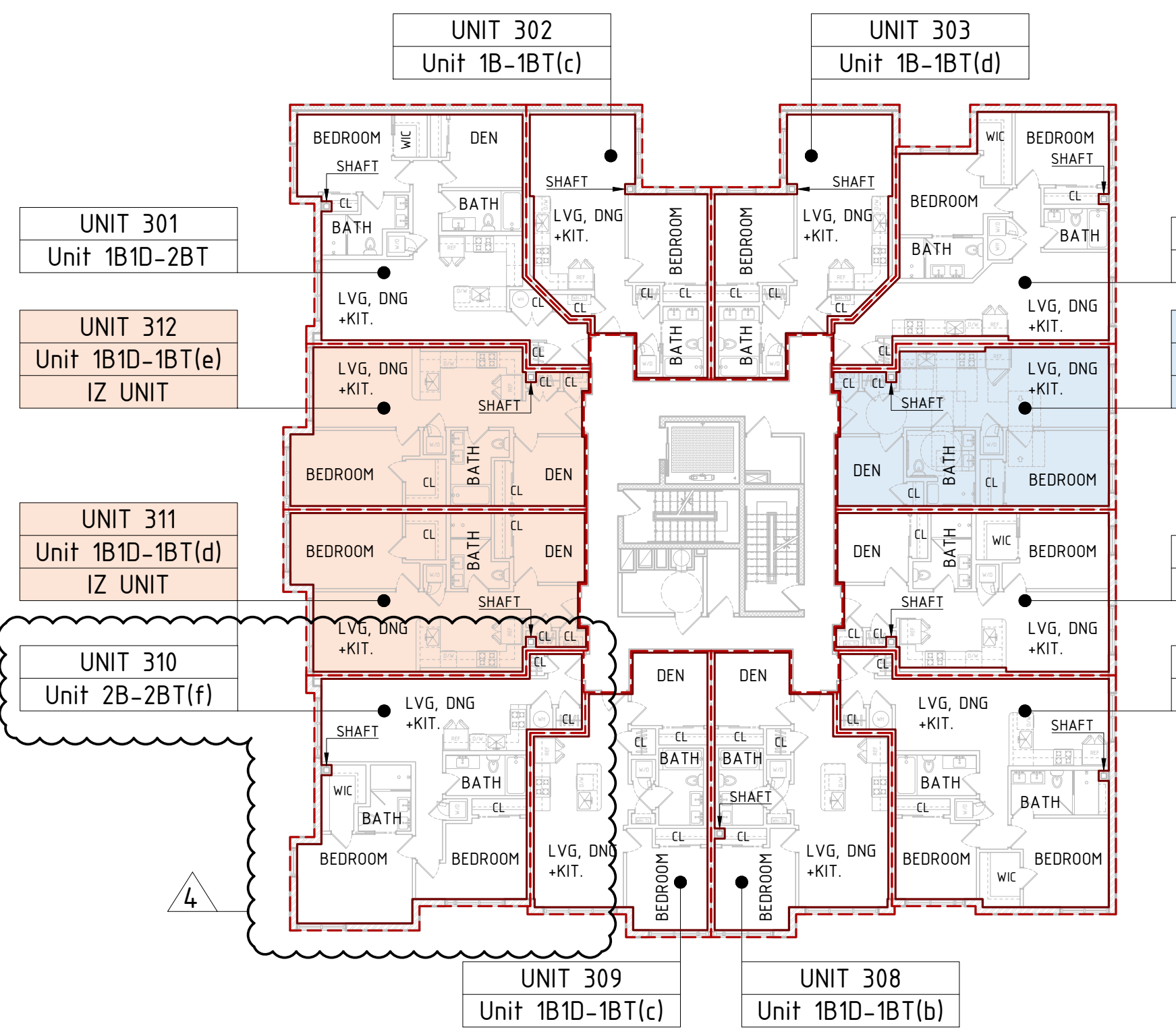




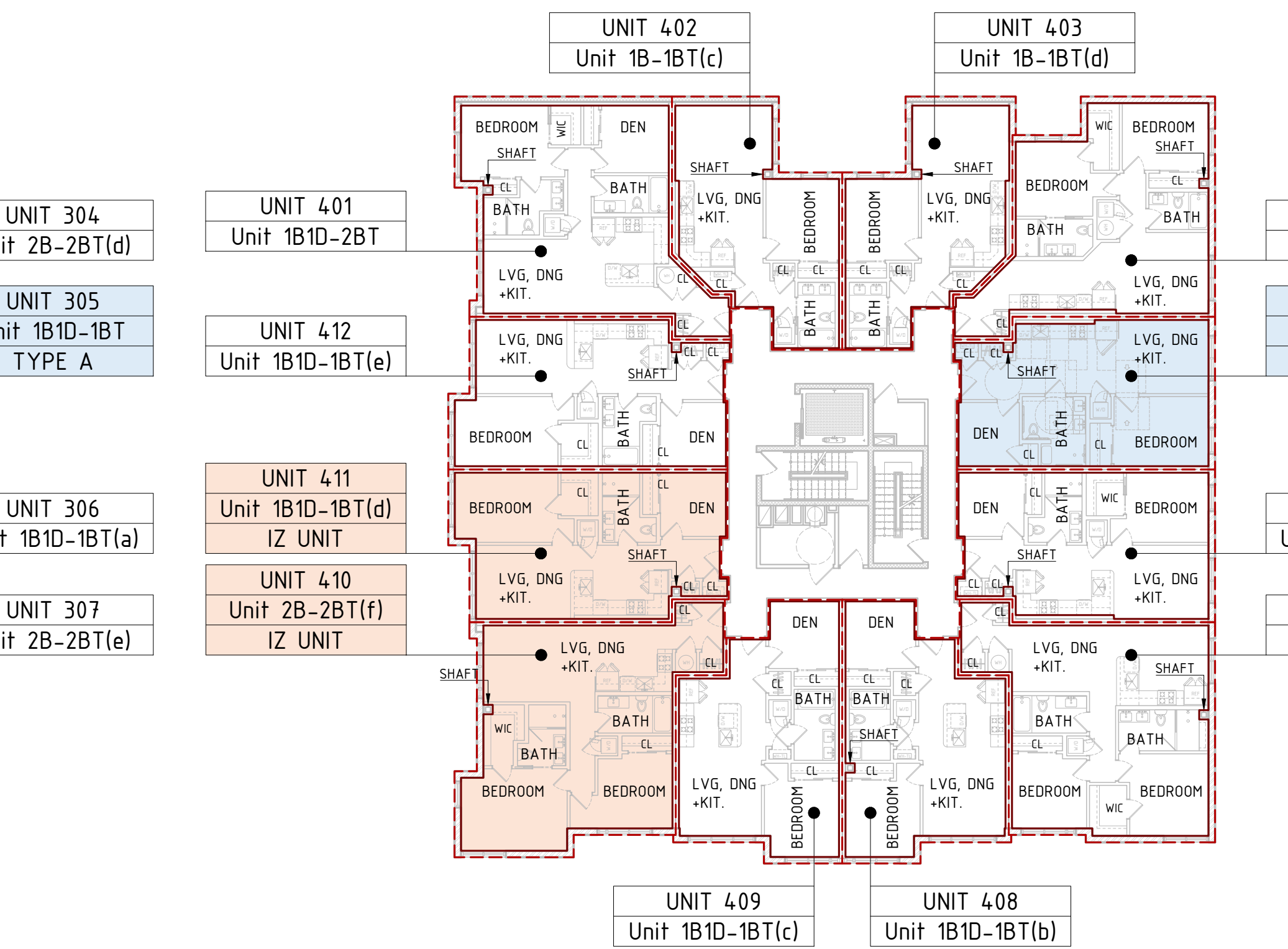
1 GROUND FLOOR PLAN  
SCALE: 1/16"=1'-0"



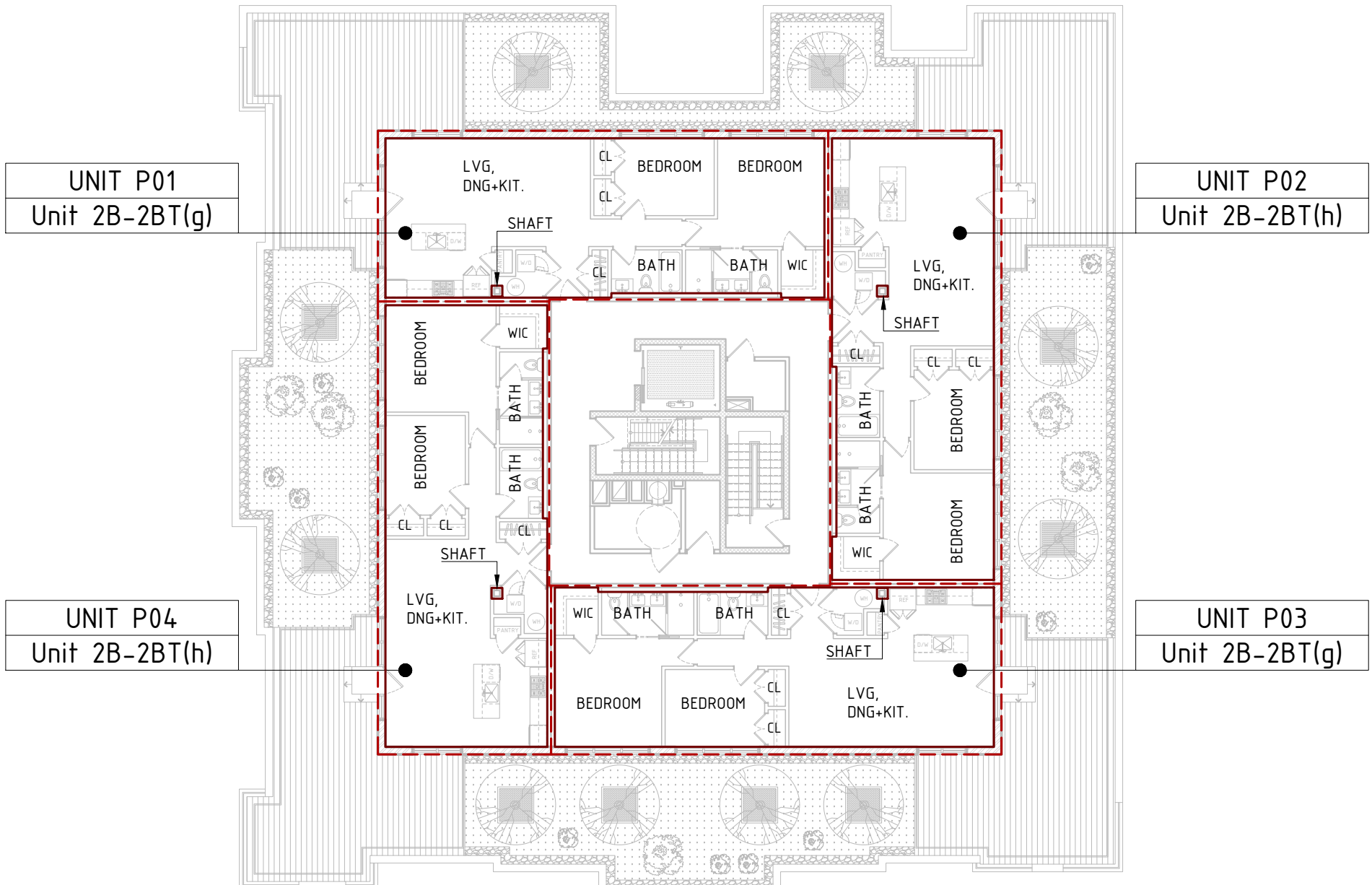
2 2ND FLOOR PLAN  
SCALE: 1/16"=1'-0"



3 3RD FLOOR PLAN  
SCALE: 1/16"=1'-0"



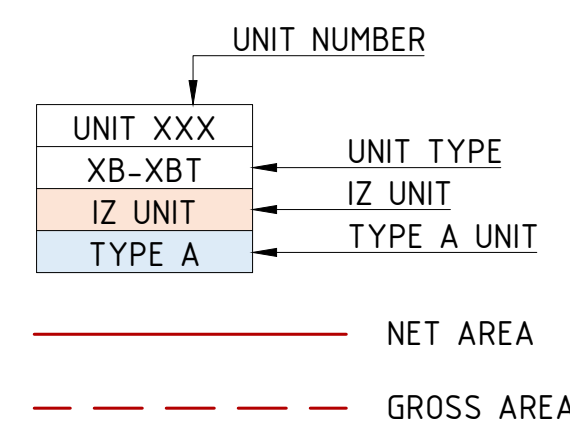
4 4TH FLOOR PLAN  
SCALE: 1/16"=1'-0"



5 PENTHOUSE FLOOR PLAN  
SCALE: 1/16"=1'-0"

| LEVEL        | UNIT NAME | NET AREA, SF | GROSS AREA, SF | UNIT TYPE                | COMMENT                  |
|--------------|-----------|--------------|----------------|--------------------------|--------------------------|
| GROUND FLOOR | UNIT 101  | 675.9        | 765.3          | 2B-2BT                   | TYPE A (2B)              |
|              | UNIT 102  | 831.4        | 956.9          | 2B-2BT(a)                | TYPE A (2B)              |
|              | UNIT 103  | 550.5        | 620.1          | 1B-1BT                   |                          |
|              | UNIT 104  | 492.9        | 548.1          | 1B-1BT(a)                |                          |
|              | UNIT 105  | 865.0        | 976.0          | 2B-2BT(b)                | TYPE A (2B)              |
|              | UNIT 106  | 562.0        | 625.7          | 1B-1BT(b)                |                          |
|              | UNIT 107  | 904.1        | 1,001.9        | 2B-2BT(c)                |                          |
| 2ND FLOOR    | UNIT 201  | 776.9        | 873.8          | 1B1D-2BT                 |                          |
|              | UNIT 202  | 516.8        | 585.3          | 1B-1BT(c)                |                          |
|              | UNIT 203  | 516.8        | 587.5          | 1B-1BT(d)                |                          |
|              | UNIT 204  | 726.1        | 817.2          | 2B-2BT(d)                |                          |
|              | UNIT 205  | 626.0        | 685.8          | 1B1D-1BT                 | TYPE A (1B)              |
|              | UNIT 206  | 621.0        | 682.2          | 1B1D-1BT(a)              |                          |
|              | UNIT 207  | 793.4        | 876.1          | 2B-2BT(e)                |                          |
|              | UNIT 208  | 600.9        | 659.0          | 1B1D-1BT(b)              |                          |
|              | UNIT 209  | 602.4        | 659.0          | 1B1D-1BT(c)              |                          |
|              | UNIT 210  | 813.6        | 906.0          | 2B-2BT(f)                | IZ UNIT (2B)             |
|              | UNIT 211  | 652.9        | 711.0          | 1B1D-1BT(d)              | TYPE A (1B)              |
|              | UNIT 212  | 656.5        | 714.6          | 1B1D-1BT(e)              | TYPE A (1B)              |
|              | 3RD FLOOR | UNIT 301     | 776.9          | 873.8                    | 1B1D-2BT                 |
| UNIT 302     |           | 516.8        | 585.3          | 1B-1BT(c)                |                          |
| UNIT 303     |           | 516.8        | 587.5          | 1B-1BT(d)                |                          |
| UNIT 304     |           | 726.1        | 817.2          | 2B-2BT(d)                |                          |
| UNIT 305     |           | 626.0        | 685.8          | 1B1D-1BT                 | TYPE A (1B)              |
| UNIT 306     |           | 621.0        | 682.2          | 1B1D-1BT(a)              |                          |
| UNIT 307     |           | 793.4        | 876.1          | 2B-2BT(e)                |                          |
| UNIT 308     |           | 600.9        | 659.0          | 1B1D-1BT(b)              |                          |
| UNIT 309     |           | 602.4        | 659.0          | 1B1D-1BT(c)              |                          |
| UNIT 310     |           | 813.6        | 906.0          | 2B-2BT(f)                |                          |
| UNIT 311     |           | 652.9        | 711.0          | 1B1D-1BT(d)              | IZ UNIT (1B)             |
| UNIT 312     |           | 656.5        | 714.6          | 1B1D-1BT(e)              | IZ UNIT (1B)             |
| 4TH FLOOR    |           | UNIT 401     | 776.9          | 873.8                    | 1B1D-2BT                 |
|              | UNIT 402  | 516.8        | 585.3          | 1B-1BT(c)                |                          |
|              | UNIT 403  | 516.8        | 587.5          | 1B-1BT(d)                |                          |
|              | UNIT 404  | 726.1        | 817.2          | 2B-2BT(d)                |                          |
|              | UNIT 405  | 626.0        | 685.8          | 1B1D-1BT                 | TYPE A (1B)              |
|              | UNIT 406  | 621.0        | 682.2          | 1B1D-1BT(a)              |                          |
|              | UNIT 407  | 793.4        | 876.1          | 2B-2BT(e)                |                          |
|              | UNIT 408  | 600.9        | 659.0          | 1B1D-1BT(b)              |                          |
|              | UNIT 409  | 602.4        | 659.0          | 1B1D-1BT(c)              |                          |
|              | UNIT 410  | 813.6        | 906.0          | 2B-2BT(f)                | IZ UNIT (2B)             |
|              | UNIT 411  | 652.9        | 711.0          | 1B1D-1BT(d)              | IZ UNIT (1B)             |
|              | UNIT 412  | 656.5        | 714.6          | 1B1D-1BT(e)              |                          |
| TOTAL IZ SF  |           | 28,591.7     | 31,766.5       | NO COMMON AREAS INCLUDED |                          |
| PENTHOUSE    | UNIT P01  | 920.8        | 1,017.8        | 2B-2BT(g)                | NOT INCLUDED IN IZ CALCS |
|              | UNIT P02  | 941.1        | 1,038.7        | 2B-2BT(h)                |                          |
|              | UNIT P03  | 920.8        | 1,017.8        | 2B-2BT(g)                |                          |
|              | UNIT P04  | 941.1        | 1,038.7        | 2B-2BT(h)                |                          |
| TOTAL SF     |           | 32,315.5     | 35,879.5       | NO COMMON AREAS INCLUDED |                          |

- GROSS CONSTRUCTION OUTLINE IS BASED ON OUTMOST PORTION OF WALLS AT EACH LEVEL.
- FLOOR AREAS EXCLUDES VERTICAL SHAFTS AND AREAS WITH CEILING HEIGHT 6'-6" OR LESS.



6 SHEET NOTES/LEGEND

|                        |    |                |                            |                     |
|------------------------|----|----------------|----------------------------|---------------------|
| 1 BEDROOM/1 BATH       | 9  | TOTAL 1B UNITS | 15% FOR TYPE A UNITS REQ'D | TYPE A UNITS PROV'D |
| 1 BEDROOM/1 DEN/1 BATH | 18 |                |                            |                     |
| 1 BEDROOM/1 DEN/2 BATH | 3  | 30             | 4.5                        | 5                   |
| 2 BEDROOM/2 BATH       | 17 | TOTAL 2B UNITS | 15% FOR TYPE A UNITS REQ'D | TYPE A UNITS PROV'D |
|                        |    | 17             | 2.55                       | 3                   |
| TOTAL UNITS:           |    | 47             | TYPE A UNITS 8             |                     |

PER 1107.6.2.1.1 REQUIRED 8 TYPE A UNITS PROVIDED: 8 TYPE A UNITS.  
PER 1107.6.2.1.2 REST OF UNITS ARE TYPE B.

7 TYPE A UNIT CALCULATIONS/SUMMARY

|                      |          |    |                                                                                                                                 |
|----------------------|----------|----|---------------------------------------------------------------------------------------------------------------------------------|
| GFA PROPOSED         | 37,824.0 | SF | FOR CIZS FORM:<br>TOTAL GFA: 37,824.0 SF<br>TOTAL RESIDENTIAL GFA: 37,824.0 SF<br>TOTAL NET RESIDENTIAL FLOOR AREA: 28,591.7 SF |
| GFA MAX. NO IZ BONUS | 33,062.5 | SF |                                                                                                                                 |
| IZ BONUS DENSITY     | 4,761.5  | SF |                                                                                                                                 |

| UNIT TYPE | QTY | TOTAL SF, NET | AVG. UNIT SIZE | SIZE REQ'D, 98% FROM AVG., NET | MIN. SIZE PROV'D, NET | QTY |
|-----------|-----|---------------|----------------|--------------------------------|-----------------------|-----|
| 1 BEDROOM | 30  | 18,316.0      | 610.5          | 598.3                          | 652.9                 | 3   |
| 2 BEDROOM | 13  | 10,275.7      | 790.4          | 774.6                          | 813.6                 | 2   |

NOTE: PER DCMR TITLE 14, SEC. 2202.4 (f): IZ UNITS ARE REQUIRED TO BE NO LESS THAN 98% OF THE AVERAGE UNIT SIZE (WITHIN THE SAME TYPE).

8 IZ UNITS CALCULATIONS

9 UNIT AREA CALCULATIONS



Owner:  
Developer RE1 LLC  
Address:  
1629 K Street NW, Suite 300  
Washington, DC 20006-1631

71 KENNEDY STREET NW  
5501 1ST ST NW  
WASHINGTON, DC 20011



| NO. | DATE     | DRAWING SET                |
|-----|----------|----------------------------|
| 1   | 05/03/18 | Structural Coordination    |
| 2   | 05/16/18 | WASA Submission            |
| 3   | 09/18/18 | BZA Zoning Attorney Review |
| 4   | 05/01/19 | 100% set w/ comments       |
| Δ   | 00/20/22 | ROUND 1 DCRA COMMENTS      |
| Δ   | 12/20/22 | ROUND 2 DCRA COMMENTS      |
| Δ   | 05/17/23 | ROUND 3 DOB COMMENTS       |
| Δ   | 07/03/23 | ROUND 4 DOB COMMENTS       |

SCALE: 1/16" = 1'-0"

PROJECT NUMBER:

SHEET TITLE  
UNIT AREA  
TABULATIONS

SHEET NUMBER  
CT.02

ZONING & BUILDING CODE DATA:

BUILDING DATA:

PROJECT NAME: 71 KENNEDY ST NW  
PROJECT ADDRESS: 5505 1ST ST.NW – 67-71 KENNEDY ST. NW, WASHINGTON, DC, 20011  
PROJECT SCOPE:  
NEW 4 STORY WITH PENTHOUSE 47 UNIT RESIDENTIAL CONDOMINIUM BUILDING. TO INCLUDE UNDERGROUND PARKING SPACES. ALL NEW WORK TO INCLUDE MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL AND ELEVATORS. BUILDING WILL BE FULLY SPRINKLED.

ZONING DATA:

|                       |                       |               |
|-----------------------|-----------------------|---------------|
| SQUARE NO.:           | 3389                  |               |
| LOT NO.:              | 138                   |               |
| ZONING DISTRICT:      | MU-4                  |               |
| ZONING OVERLAY:       | N/A                   |               |
| HISTORIC AREA/SITE:   | N/A                   |               |
| SITE AREA:            | 13,225 SF (DC RECORD) |               |
| INCLUSIONARY ZONING:  | COMPLIANT             |               |
| BZA ORDER:            | #19897                |               |
|                       | REQUIRED              | PROVIDED      |
| FAR MAX (TOTAL):      | 3.0 (I2)              | 2.86          |
| FAR PENTHOUSE:        | 0.4                   | 0.39          |
| LOT OCCUPANCY MAX:    | 75% (I2)              | 74.62%        |
| REAR YARD MIN:        | 15'-0"                | 0             |
| SIDE YARD MIN:        | NONE REQUIRED         | NONE          |
| BUILDING HEIGHT MAX:  | 50'-0"                | 48'-5 5/8"    |
| BUILDING STORIES MAX: | NO LIMIT              | 4 + PENTHOUSE |
| OFF-STREET PARKING:   | 14                    | 17            |

CHAPTER 3 – USE & OCCUPANCY CLASSIFICATION:

- R-2: RESIDENTIAL (APARTMENT) 1/200 – 1ST-4TH FLOOR, PENTHOUSE
- S-2: LOW-HAZARD STORAGE (PARKING GARAGE, STORAGE)S) 1/200 – P1 LEVEL
- A-3: ASSEMBLY (EXERCISE ROOM – FOR RESIDENTS ONLY) 1/50 – P1 LEVEL
- U: UTILITY ROOMS

CHAPTER 5 – GENERAL BUILDING HEIGHTS & AREAS:

1. HEIGHT: (SECTION 504, IBC TABLE 504.3, 504.4)

| CONST. TYPE | USE              | ALLOWED                     | PROVIDED                                                           |
|-------------|------------------|-----------------------------|--------------------------------------------------------------------|
| TYPE V-A    | R-2              | 60' (5 STORIES ABOVE GRADE) | 44'-3 1/2" (4 FLOORS ABOVE GRADE: 2ND, 3RD, 4TH, PENTHOUSE FLOOR)* |
| TYPE I-A    | S-2, A-3, R-2, U | UL (4 STORIES ABOVE GRADE)  | 1 FLOOR BELOW GROUND: 13'-2"<br>1 FLOOR ABOVE GROUND: 11'-8" **    |

1. \* 48'-5 5/8" TOTAL HEIGHT OF BUILDING TAKEN FROM MEDIAN MEASURING POINT (+219.7') OF SITE ON 1ST STREET NW. PER 504.2
2. \*\* – P1 PARKING LEVEL AND GROUND FLOOR (INCL. 2ND FLOOR SLAB) ARE TYPE I-A.
2. ALLOWABLE BUILDING HEIGHT AND STORY INCREASE DUE TO AUTOMATIC SPRINKLER SYSTEM (NFPA 13) INSTALLATION

2. BUILDING AREA: (IBC TABLE 503, DCMR SECTION 506)

| CONSTRUCTION TYPE | USE              | LOCALE         | ALLOWED PER FLOOR | PROVIDED PER FLOOR |
|-------------------|------------------|----------------|-------------------|--------------------|
| TYPE V-A          | R-2, U           | PENTHOUSE      | 12,000 SF         | 5,145.5 SF         |
|                   |                  | FOURTH FLOOR   |                   | 9,868.7 SF         |
|                   |                  | THIRD FLOOR    |                   | 9,868.7 SF         |
|                   |                  | SECOND FLOOR   |                   | 9,868.7 SF         |
|                   |                  | TOTAL TYPE V-A |                   | 34,751.6 SF        |
| TYPE I-A          | S-2, A-3, R-2, U | GROUND FLOOR   | UNLIMITED         | 8,217.9 SF         |
|                   |                  | P1 LEVEL       |                   | 12,954.5 SF        |
|                   |                  | TOTAL TYPE I-A |                   | 21,172.4 SF        |

3. SEPARATION OF OCCUPANCIES, HOURS (TABLE 508.4, SECTION 508)

| OCCUPANCY | R-2   |        | A-3   |        | S-2   |        |
|-----------|-------|--------|-------|--------|-------|--------|
|           | REQ'D | PROV'D | REQ'D | PROV'D | REQ'D | PROV'D |
| R-2       | 1*    | 1      | 1     | 3      | 1     | 1, 3   |
| A-3       | 1     | 3      | N/A   | N/A    | N     | 1, 3   |
| S-2       | 1     | 1, 3   | N     | 1, 3   | N     | 1, 3   |
| U         | 1     | 2, 3   | N     | 1, 3   | N     | 1      |

N = NO SEPARATION REQUIREMENT  
NP = NOT PERMITTED  
- = NOT APPLICABLE

1. \* FIRE PARTITION REQ'D BY SECTION 420.2, 708.1, 708.3
2. AUTOMATIC SPRINKLER SYSTEM: (IBC SECTION 903, NFPA 13) PROVIDED.
- FIRE RATED HORIZONTAL AND VERTICAL PARTITIONS SEE SECTIONS A301-A302, EGRESS PLANS SC.06-SC.09, ASSEMBLIES A602-A603.

CHAPTER 6 – TYPES OF CONSTRUCTION:

- TYPE V-A – ABOVE 2ND FLOOR SLAB, 3RD FLOOR, 4TH FLOOR, PENTHOUSE
- TYPE I-A – FOUNDATION SLAB THROUGH 2ND FLOOR

1. BUILDING ELEMENT FIRE RESISTANT RATINGS:  
FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (TABLE 601)

|          | BUILDING ELEMENT                        | LOCALE             | RATING REQUIRED | RATING PROVIDED  |
|----------|-----------------------------------------|--------------------|-----------------|------------------|
| TYPE I-A | PRIMARY STRUCTURAL FRAME                | COLUMNS            | 3 HR            | 3 HR             |
|          |                                         | FLOOR CONSTRUCTION | 2 HR            | 3 HR             |
|          | BEARING WALLS                           | INTERIOR           | 3 HR            | 3 HR             |
|          |                                         | EXTERIOR           | 3 HR            | 3 HR             |
|          | NONBEARING INTERIOR WALLS & PARTITIONS* |                    | 0 HR            | 0 HR, 1 HR, 2 HR |
|          | ROOF CONSTRUCTION                       |                    | 1-1/2 HR        | N/A              |

| BUILDING ELEMENT |                                         | LOCALE    | RATING REQUIRED | RATING PROVIDED  |
|------------------|-----------------------------------------|-----------|-----------------|------------------|
| TYPE V-A         | STRUCTURAL FRAME                        |           | 1 HR            | 1 HR             |
|                  | BEARING WALLS                           | EXTERIOR* | 1 HR            | 1 HR, 2 HR       |
|                  |                                         | INTERIOR* | 1 HR            | 1 HR, 2 HR       |
|                  | NONBEARING INTERIOR WALLS & PARTITIONS* |           | 0 HR            | 0 HR, 1 HR, 2 HR |
|                  | FLOOR CONSTRUCTION                      |           | 1 HR            | 1 HR             |
|                  | ROOF CONSTRUCTION                       |           | 1 HR            | 1 HR             |

\* NOT LESS THAN THE FIRE-RESISTANCE RATING REQUIRED BY OTHER SECTIONS OF CODE

2. FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (TABLE 602)

| BUILDING ELEMENT | LOCALE                                 | RATING REQUIRED  | RATING PROVIDED       |
|------------------|----------------------------------------|------------------|-----------------------|
|                  |                                        | R-2, A-3, S-2, U | R-2, A-2, A-3, S-2, U |
| TYPE I-A         | NONBEARING EXTERIOR WALLS & PARTITIONS | FSD < 5'         | 2 HR                  |
|                  |                                        | 5' < FSD < 10'   | 1 HR                  |
|                  |                                        | 10' < FSD < 30'  | 1 HR                  |
|                  |                                        | FSD >30'         | 0 HR                  |

| BUILDING ELEMENT | LOCALE                                 | RATING REQUIRED              | RATING PROVIDED |
|------------------|----------------------------------------|------------------------------|-----------------|
|                  |                                        | OCCUPANCY GROUP: R-2, U, S-2 |                 |
| TYPE V-A         | NONBEARING EXTERIOR WALLS & PARTITIONS | FSD < 5'                     | 2 HR            |
|                  |                                        | 5' < FSD < 10'               | 1 HR            |
|                  |                                        | 10' < FSD < 30'              | 1 HR            |
|                  |                                        | FSD >30'                     | 0 HR            |

NOTE: SEE CS. 06-09 FOR ACTUAL FIRE SEPARATION DISTANCES.

CHAPTER 7 – FIRE-RESISTANCE-RATED CONSTRUCTION:

1. MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION (TABLE 705.8). OPENINGS ARE UNPROTECTED, BUILDING IS SPRINKLERED.

| FIRE SEPARATION DISTANCE | ALLOWED       | WORST-CASE PROVIDED |        |        |        |
|--------------------------|---------------|---------------------|--------|--------|--------|
|                          |               | NORTH               | EAST   | SOUTH  | WEST   |
| FSD < 3'                 | NOT PERMITTED | N/O                 | N/O    | N/O    | N/O    |
| 3' ≤ FSD > 5'            | 15%           | N/O                 | N/O    | N/O    | N/O    |
| 5' ≤ FSD > 10'           | 25%           | 22.90%              | 3.37%  | N/O    | N/O    |
| 10' ≤ FSD > 15'          | 45%           | 29.50%              | 19.01% | N/O    | N/O    |
| 15' ≤ FSD > 20'          | 75%           | N/O                 | N/O    | N/O    | N/O    |
| FSD ≥ 20'                | NO LIMIT      | N/O                 | 41.46% | 44.32% | 44.32% |

N/O – NO OPENINGS

NOTE: FULL ANALYSIS OF OPENING PERCENTAGE BY FLOOR AND ELEVATION FOR EACH WALL BASED ON FSD SEE CS.10

4. FIRE BARRIERS: (IBC SECTION 707)

| BUILDING ELEMENT                     | SEPARATION AND/OR PROTECTION REQUIRED | SEPARATION AND/OR PROTECTION PROVIDED |
|--------------------------------------|---------------------------------------|---------------------------------------|
| SHAFT ENCLOSURES (IBC SECTION 707.3) | 2 HR                                  | 2 HR                                  |
| EXIT ENCLOSURES (IBC SECTION 707.3)  | 2 HR                                  | 2 HR                                  |
| INCIDENTAL USE AREAS (IBC TABLE 509) |                                       |                                       |
| PARKING GARAGE                       | 1 HR                                  | 2 HR                                  |
| WASTE COLLECTION > 100 SF            | 1 HR                                  | 1, 3 HR                               |
| SEPARATION OF MIXED OCCUPANCIES      |                                       |                                       |
| R & A-2                              | 1 HR                                  | 1 HR                                  |
| A-2 & S-2                            | NO REQ                                | 1 HR                                  |
| M & S-2                              | 1 HR                                  | 1 HR                                  |

5. FIRE PARTITIONS: (IBC SECTION 708.3)

| BUILDING ELEMENT                                     | RATING REQUIRED | RATING PROVIDED |
|------------------------------------------------------|-----------------|-----------------|
| WALLS BETWEEN DWELLING UNITS                         | 1 HR            | 1 HR            |
| CORRIDOR WALLS (IBC SECTION 708.3, IBC TABLE 1017.1) | 1 HR            | 1 HR            |

6. OPENING PROTECTIVES: (IBC TABLES 716.5 & 716.6)

| BUILDING ELEMENT & ASSEMBLY LOCATION |                                                       | ASSEMBLY RATING REQUIRED | ELEMENT RATING REQUIRED |
|--------------------------------------|-------------------------------------------------------|--------------------------|-------------------------|
| FIRE DOORS                           |                                                       |                          |                         |
|                                      | FIRE BARRIERS RATED >1 HR                             | 2 HR                     | 1.5 HR                  |
|                                      | SHAFTS, EXIT ENCLOSURES & EXIT PASSAGEWAYS RATED 1 HR | 1 HR                     | 1 HR                    |
|                                      | OTHER 1 HR FIRE BARRIERS                              | 1 HR                     | 45 MIN                  |
|                                      | CORRIDOR WALLS                                        | --                       | --                      |
|                                      | OTHER FIRE PARTITIONS                                 | --                       | --                      |
|                                      | EXTERIOR WALLS                                        | 2 HR                     | 1.5 HR                  |
| FIRE WINDOWS                         |                                                       |                          |                         |
|                                      | EXTERIOR WALLS                                        | 2 HR                     | 1.5 HR                  |
|                                      |                                                       | 1 HR                     | 45 MIN                  |

IBC CHAPTER 9 – FIRE PROTECTION SYSTEMS:

1. AUTOMATIC SPRINKLER SYSTEM: (IBC SECTION 903, NFPA 13)  
AUTOMATIC SPRINKLER SYSTEM PROVIDED  
PROVIDE SPRINKLER PROTECTION AT ALL BALCONIES EXCEEDING 4'-0" IN WIDTH, PER NFPA A.8.15.7.1.
2. ALTERNATIVE AUTOMATIC FIRE-EXTINGUISHING SYSTEM: (IBC SECTION 904)
3. STANDPIPE SYSTEM: (IBC SECTION 905)  
CLASS I STANDPIPE SYSTEM PROVIDED (DCMR 12A SECTION 905.3.1 EXCEPTION #1)  
FIRE ALARM & DETECTION SYSTEM: SYSTEM PROVIDED PER IBC SECTION 907, NFPA 72, ICC A117.1-702
4. FIRE ALARM & DETECTION SYSTEM: (IBC SECTION 907) SYSTEM PROVIDED
5. OTHER PROTECTION PROVISIONS: SMOKE DETECTORS PROVIDED

IBC CHAPTER 10 – MEANS OF EGRESS:

1. OCCUPANT LOAD: (IBC SECTION 1004, IBC TABLE 1004.1.2)
- PENTHOUSE: 27  
4TH FLOOR: 53  
3RD FLOOR: 53  
2ND FLOOR: 53  
GROUND FLOOR: 37  
P1 LEVEL: 59  
TOTAL OCCUPANCY: 282

2. EGRESS WIDTH: (IBC SECTION 1005)

| BUILDING ELEMENT                 | REQUIRED          | PROVIDED |
|----------------------------------|-------------------|----------|
| STAIRWAYS                        |                   |          |
| STAIR #1                         | 36" MIN           | 36"      |
| STAIR #2                         | 36" MIN           | 36"      |
| OTHER EGRESS COMPONENTS          |                   |          |
| DOORS                            | 36" (32" CLR MIN) | 36"      |
| RAMPS                            | 36" MIN           | N/A      |
| CORRIDORS OCCUPANCY CAPACITY <50 | 36" MIN           | 48" MIN. |
| CORRIDORS OCCUPANCY CAPACITY <50 | 44" MIN           | 44" MIN. |

3. MINIMUM NUMBER OF EXITS (IBC SECTION 1019.1)

| FLOOR        | OCCUPANT LOAD | EXITS REQUIRED | EXITS PROVIDED |
|--------------|---------------|----------------|----------------|
| PENTHOUSE    | 27            | 2              | 2              |
| FOURTH FLOOR | 53            | 2              | 2              |
| THIRD FLOOR  | 53            | 2              | 2              |
| SECOND FLOOR | 53            | 2              | 2              |
| GROUND       | 37            | 2              | 3              |
| P1 LEVEL     | 59            | 2              | 2              |

NOTE: SEE DRAWINGS FOR OTHER EGRESS REQUIREMENTS.

IBC CHAPTER 11 – ACCESSIBILITY:

1. SCOPING REQUIREMENTS: (IBC SECTION 1103)  
THIS PROJECT CONFORMS WITH THE FOLLOWING:  
• ICC/ANSI A117.1-2003 PER DCMR 12A & IBC 2017  
• AMERICANS WITH DISABILITIES ACT (ADA) @ COMMERCIAL AREAS  
• FAIR HOUSING ACT (FHA) @ RESIDENTIAL AREAS.
2. PARKING & PASSENGER LOADING FACILITIES: (IBC SECTION 1106)

| TOTAL PARKING SPACES PROV'D | ACCESSIBLE SPACES |          | ACCESSIBLE VAN SPACES |          |
|-----------------------------|-------------------|----------|-----------------------|----------|
|                             | MIN REQ           | PROVIDED | MIN REQ               | PROVIDED |
| 17                          | 1                 | 1        | 1                     | 1        |

2. DWELLING UNITS & SLEEPING UNITS: (IBC SECTION 1107)  
DWELLING UNITS THROUGHOUT ARE TYPE "B" ADAPTABLE UNITS WITH TYPE "A" ADAPTABLE UNITS PROVIDED AND DISPERSED PER THE FOLLOWING:

| TOTAL DWELLING UNITS PROVIDED | TYPE A UNITS |          | ROLL-IN SHOWER EQUIPPED |          |
|-------------------------------|--------------|----------|-------------------------|----------|
|                               | MIN REQ      | PROVIDED | MIN REQ                 | PROVIDED |
| 1-BEDROOM UNITS: 30           | 15% (4.5)    | 5        | 1% (1)                  | 4        |
| 2-BEDROOM UNITS: 17           | 15% (2.6)    | 3        | 1% (1)                  | 2        |

PER 1107.6.2.1.1 REQUIRED 8 TYPE A UNITS  
PROVIDED: 8 TYPE A UNITS.

PER 1107.6.2.1.2 REST OF UNITS ARE TYPE B

3. SIGNAGE: (IBC SECTION 1023.9)

APPLICABLE SIGNAGE TO BE PROVIDED BY OTHERS AND SUBMITTED TO THE ARCHITECT FOR APPROVAL.

IBC CHAPTER 13 – ENERGY EFFICIENCY:

THE FOLLOWING PROVISIONS FOR THERMAL RESISTANCE MEET OR EXCEED THE REQUIREMENTS STIPULATED BY THE DISTRICT OF COLUMBIA RESIDENTIAL ENERGY CODE (DCMR 12I) & 2006 IECC CHAPTER 5 GOVERNING COMMERCIAL ENERGY EFFICIENCY:

|                                                                                    |                                                                                                        |
|------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|
| RESIDENTIAL AREAS:<br>THERMAL ENVELOPE INSULATION (DCMR 12I & IECC TABLE 402.1.1): |                                                                                                        |
| GLAZING                                                                            | U=0.30                                                                                                 |
| SKYLIGHTS                                                                          | U=0.55                                                                                                 |
| ROOFS                                                                              | R=49                                                                                                   |
| FRAME WALLS                                                                        | R-19 (CAVITY) + R-5 (CONTINUOUS, EXT.) OR R-13 (CAVITY) + R-10 (CONTINUOUS, EXT.)                      |
| THERMAL MASS WALLS                                                                 | R-15 (CONTINUOUS, EXT.) OR R-20 (CONTINUOUS, INT.)                                                     |
| FRAME FLOORS                                                                       | R-25 + R-5 (CONTINUOUS)                                                                                |
| BASEMENT WALL                                                                      | R-19 (CAVITY) + R-5 (CONTINUOUS, EXT.) OR R-13 (CAVITY) + R-10 (CONTINUOUS, EXT.) OR R-15 (CONTINUOUS) |
|                                                                                    | R-13 (FRAMING CAVITY)                                                                                  |
| SLAB ON GRADE PERIMETER                                                            | R-10 FOR DEPTH 2'-0"                                                                                   |

1. AIR INFILTRATION (DCMR 12I SECTIONS IECC-402.4.4 & EC-403.2.2):
- A. WINDOWS, SKYLIGHTS & SLIDING DOORS NOT TO EXCEED 0.3 CFM PER SQUARE FOOT OF FENESTRATION.
- B. SWINGING DOORS NOT TO EXCEED 0.5 CFM PER SQUARE FOOT OF DOOR AREA. PROVIDE 1" FIBERGLASS SILL SEALER BETWEEN FOUNDATION AND WALL AND SILL PLATES.
- C. FILL CONSTRUCTION (ELECTRICAL AND PLUMBING) HOLES, CRACKS, LOOSE JOINTS AND SPACES IN ROUGH FRAMING AND ROUGH MASONRY WITH APPROVED FOAM SEALER OR SIMILAR SEALANT.

DISTRICT DEPARTMENT OF TRANSPORTATION

1. CAR PARKING – DCMR SUBTITLE C, CHAPTER 7  
703.1 PARKING STANDARDS FOR USES IN THE RESIDENTIAL USE CATEGORIES ARE CALCULATED IN THE NUMBER OF PARKING SPACES PER DWELLING UNIT.  
PER TABLE C 701.5 REQUIRED 1 CAR PARKING SPACE PER 3 DWELLING UNITS IN EXCESS OF 4 UNITS.

| TOTAL NUMBER OF UNITS | NUMBER OF REQUIRED CAR PARKING SPACES |        |
|-----------------------|---------------------------------------|--------|
|                       | REQ'D                                 | PROV'D |
| 47                    | 14                                    | 17     |

2. CHAPTER 12 SECTION 1214. LONG TERM BICYCLE PARKING REQUIREMENTS FOR RESIDENTIAL BUILDINGS

1214.4 – ALL NEW RESIDENTIAL BUILDINGS AND SUBSTANTIALLY REHABILITATED BUILDINGS WITH EIGHT (8) OR MORE UNITS, SHALL HAVE AT LEAST ONE (1) SECURE BICYCLE PARKING SPACE FOR EACH THREE (3) RESIDENTIAL UNITS.

3. DCMR SUBTITLE C, CHAPTER 8

802.1 – 1011 ALL RESIDENTIAL USES WITH EIGHT (8) OR MORE DWELLING UNITS AND NON-RESIDENTIAL USES WITH FOUR THOUSAND SQUARE FEET (4,000 SQ. FT.) OR MORE OF GROSS FLOOR AREA SHALL PROVIDE BICYCLE PARKING SPACES AS FOLLOWS:

- RESIDENTIAL, LONG-TERM SPACES: 1 SPACE FOR EACH 3 DWELLING UNITS
- RESIDENTIAL, SHORT-TERM SPACES: 1 SPACE FOR EACH 20 DWELLING UNITS

| TOTAL NUMBER OF UNITS | NUMBER OF REQUIRED BIKE SPACES |             | NUMBER OF PROVIDED BIKE SPACES |            |
|-----------------------|--------------------------------|-------------|--------------------------------|------------|
|                       | LONG -TERM                     | SHORT- TERM | LONG-TERM                      | SHORT-TERM |
| 47                    | 16                             | 3           | 19                             | 4          |

|                                                                                                                                                                                                   |                                                                                    |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------|
| THIS PROJECT CONFORMS TO ALL APPLICABLE BUILDING CODES AND ZONING REGULATIONS FOR THE DISTRICT OF COLUMBIA. ALL CODES SUBJECT TO THE 2017 DC CONSTRUCTION CODES AND ALL DCMR TITLE 12 AMENDMENTS. |                                                                                    |
| BUILDING:                                                                                                                                                                                         | 2015 IBC (2017 DCMR 12A DC BUILDING CODE AMENDMENTS)                               |
| ELECTRICAL:                                                                                                                                                                                       | 2014 NEC & NFPA 70 (2017 DCMR 12C DC ELECTRICAL CODE)                              |
| FUEL GAS:                                                                                                                                                                                         | 2015 IFGC (2017 DCMR 12D DC FUEL GAS CODE)                                         |
| MECHANICAL:                                                                                                                                                                                       | 2015 IMC (2017 DCMR 12E DC MECHANICAL CODE)                                        |
| PLUMBING:                                                                                                                                                                                         | 2015 IPC (2017 DCMR 12F DC PLUMBING CODE)                                          |
| FIRE:                                                                                                                                                                                             | 2015 IFC (2017 DCMR 12H DC FIRE CODE)                                              |
| ENERGY:                                                                                                                                                                                           | 2015 IECC (2017 DCMR 12I DC ENERGY CONSERVATION CODE)<br>2013 ANSI/ASHRAE/IES 90.1 |
| EXISTING BUILDING:                                                                                                                                                                                | 2015 EBC (2017 DCMR 12J DC EXISTING BUILDING CODE)                                 |
| GREEN CODE:                                                                                                                                                                                       | 2017 DCGCC (2017 DCMR 12K DC GREEN CONSTRUCTION CODE)                              |
| ENERGY CONSERV:                                                                                                                                                                                   | 2017 DCECC (2017 DCMR 12I ENERGY CONSERVATION SUPP. OF 2017 RES PROV)              |
| ACCESSIBILITY:                                                                                                                                                                                    | ICC A117.1-2017 STANDARD FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES        |



Owner:  
Developer RE1 LLC  
Address:  
1629 K Street NW, Suite 300  
Washington, DC 20006-1631

71 KENNEDY STREET NW  
5501 1ST ST NW  
WASHINGTON, DC. 20011

| NO. | DATE     | DRAWING SET                |
|-----|----------|----------------------------|
| 1   | 05/03/18 | Structural Coordination    |
| 2   | 05/16/18 | WASA Submission            |
| 3   | 09/18/18 | BZA Zoning Attorney Review |
| 4   | 05/01/19 | 100% set w/comments        |
| 1   | 06/20/22 | ROUND 1 DCRA COMMENTS      |
| 2   | 12/20/22 | ROUND 2 DCRA COMMENTS      |
| 3   | 05/17/23 | ROUND 3 DOB COMMENTS       |
| 4   | 07/03/23 | ROUND 4 DOB COMMENTS       |

SCALE: N.T.S.

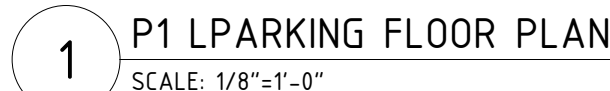
PROJECT NUMBER:

SHEET TITLE

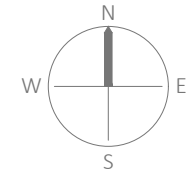
CODE AND ZONING  
ANALYSIS

SHEET NUMBER

CS.03



1ST STREET NW



# 1 GROUND FLOOR PLAN

SCALE: 1/8"=1'-0"

KENNEDY STREET

PROPOSED ALLEY  
DEVELOPMENT  
RE: CIV. DWGS.

31 KENNEDY ST NW  
EXISTING BUILDING  
LOT 131

## 4 RAMP SCHEME

N.T.S.

- CH-01 24" CHUTE: 16 GAUGE, ALUMINIZED STEEL; 15"W X 18"H  
BH TRASH DOOR W/ADA LEVER HANDLE W/LOCK
- DR-02 INTERNAL ROOF DRAIN
- HR-01 STAIR METAL HANDRAIL WITH ALUMINUM ROUND INFILL,  
METAL HANDRAIL; RE: A501A
- R.G. RESTRICTION GATE, RE: A501A
- W.S. ADA WORK SURFACE: HEIGHT 34" MAX., 30" MIN LENGTH

## 3 KEYED NOTES

- XX KEYNOTE TAG
- WXX WINDOW TAG; RE: WINDOW SCHEDULE
- XXX DOOR TAG; RE: DOOR SCHEDULE
- XX PARTITION TAG; RE: ASSEMBLIES
- EXTERIOR WALL - BRICK VENEER
- EXTERIOR WALL - METAL PANELS
- CMU WALL
- CONCRETE WALL/COLUMN

- ALL DIMENSIONS ARE FROM FINISH FACE WALL UNLESS NOTED OTHERWISE. MAINTAIN CLEAR DIMENSIONS AND COORDINATE ROUGH DIMENSIONS WITH FINIS SYSTEMS SPECIFIED.
- ALL WORK IS NEW, UNLESS NOTED OTHERWISE.
- ALL MATERIALS SHALL BE INSTALLED AS PER MANUFACTURER INSTRUCTIONS AND GUIDELINES.
- PROVIDE 1 1/4" CLOSET ROD AND WD SHELF IN ALL CLOSETS.
- ALL INTERIOR WALLS ARE TYPE P1A AT TYPE I-A CONSTRUCTION, U.N.O.
- ALL INTERIOR WALLS ARE TYPE P1 AT TYPE V-A CONSTRUCTION, U.N.O.
- ALL COLUMNS ARE TYPE W0, U.N.O.
- SKIM COAT ALL EXPOSED CONCRETE COLUMNS, WALLS.
- ALL UNITS ARE TYPE B, U.N.O.
- ENLARGED UNIT PLANS SEE A402-A410.
- GROSS BUILDING TABULATIONS SEE CT.01.
- NET/GROSS AREA TABULATIONS AND TYPE A UNIT/IZ UNIT CALCULATIONS SEE CT.02-CT.03.
- FIRE RATED PARTITIONS SEE EGRESS PLANS SC.06-SC.08, ASSEMBLIES A602-A603.
- ELEVATOR EQUIPMENT: KONE MONOSPACE® 500 DX GEARLESS TRACTION ELEVATOR, FRONT OPENING, 4000 LBS CAPACITY. USED AS BASIS OF DESIGN.

## 2 SHEET NOTES/LEGEND



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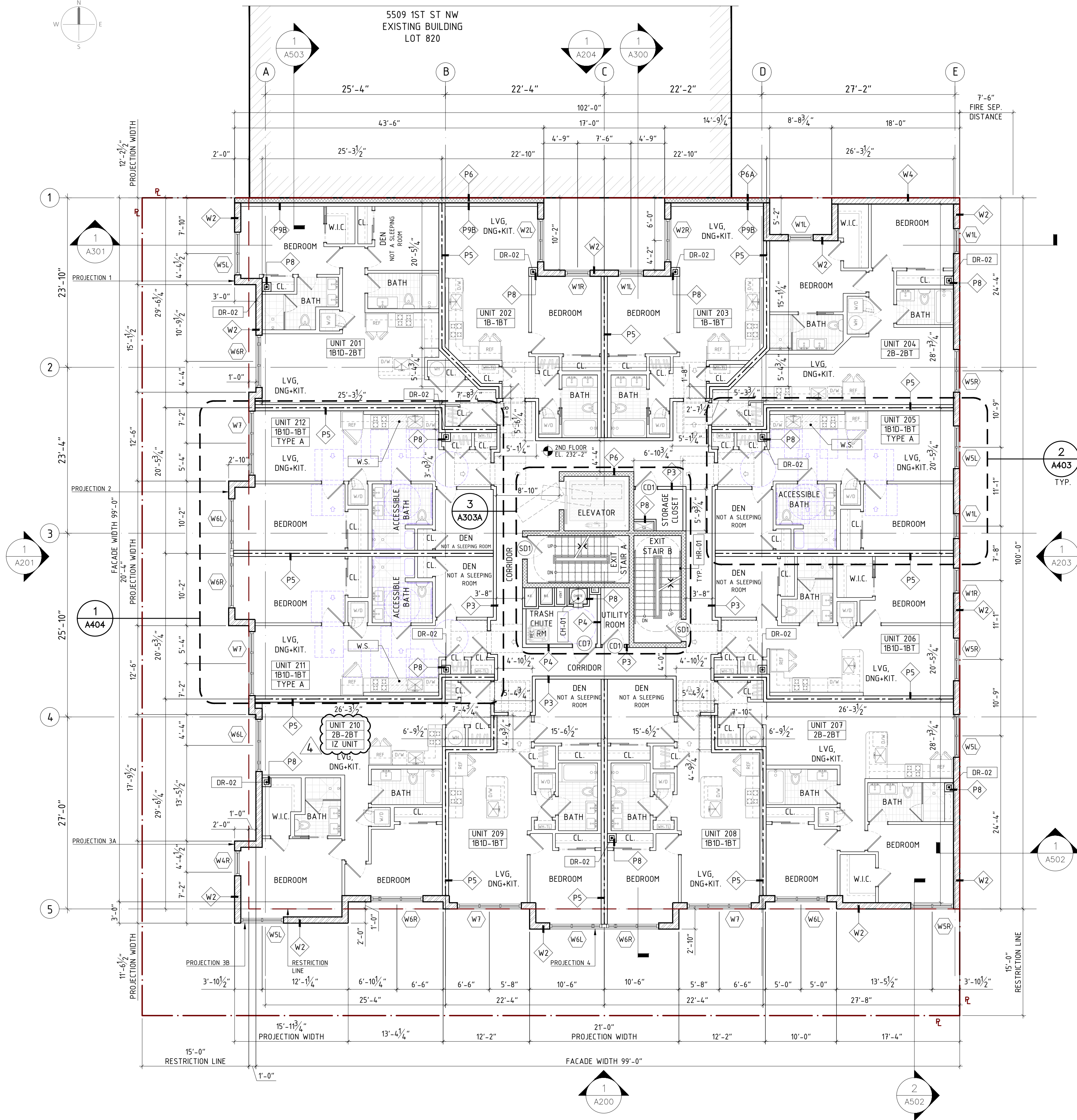
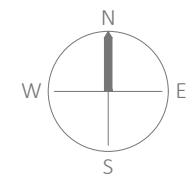


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| 1   | 00/20/22 | ROUND 1 DCRA COMMENTS      |
| 2   | 12/20/22 | ROUND 2 DCRA COMMENTS      |
| 3   | 05/17/23 | ROUND 3 DCRA COMMENTS      |

SCALE: 1/8" = 1'-0"  
PROJECT NUMBER:

SHEET TITLE  
**GROUND  
FLOOR PLAN**

SHEET NUMBER  
**A103**



1 2ND FLOOR PLAN  
SCALE: 1/8"=1'-0"

Office of Planning

June 9 2020

Calculating Width of Bay Windows, Oriels, Towers, and Show Windows

2017 Code Update

Façade Widths 16 to 24'

24 feet

Single Projection Width

13 feet

Façade Widths 24' to 34'

34 feet

Single Projection Width

14.666 feet

Façade Widths Over 34'

99 feet

Single Projection Width

25.495 feet

Multiple Projection Width

47.1

PROPOSED WEST/SOUTH FAÇADE WIDTH: 99.00'

| NAME                | PROJECTION TYPE | WIDTH, FT |        | DEPTH   |        |
|---------------------|-----------------|-----------|--------|---------|--------|
|                     |                 | ALLOWED   | PROP'D | ALLOWED | PROP'D |
| PROJECTION 1        | BAY WINDOW      | 25.50'    | 12.21' | 3.00' * | 2.00'  |
| PROJECTION 2        | BAY WINDOW      | 25.50'    | 20.33' | 3.00' * | 2.83'  |
| PROJECTION 3A       | BAY WINDOW      | 25.50'    | 11.54' | 3.00' * | 2.00'  |
| MULTIPLE PROJECTION |                 | 47.10'    | 44.08' |         |        |

| NAME                | PROJECTION TYPE | WIDTH, FT |        | DEPTH   |        |
|---------------------|-----------------|-----------|--------|---------|--------|
|                     |                 | ALLOWED   | PROP'D | ALLOWED | PROP'D |
| PROJECTION 3B       | BAY WINDOW      | 25.50'    | 15.98' | 3.00' * | 2.00'  |
| PROJECTION 4        | BAY WINDOW      | 25.50'    | 21.00' | 3.00' * | 2.83'  |
| MULTIPLE PROJECTION |                 | 47.10'    | 36.98' |         |        |

1. \* - PER 12 DCMR 3202.10.3.3

#### 4 PROJECTIONS CALCULATIONS

- CH-01 24" CHUTE: 16 GAUGE, ALUMINIZED STEEL; 15"W X 18"H  
BH TRASH DOOR W/ADA LEVER HANDLE W/LOCK
- DR-02 INTERNAL ROOF DRAIN
- HR-01 STAIR METAL HANDRAIL WITH ALUMINUM ROUND INFILL,  
METAL HANDRAIL; RE: A501A
- W.S. ADA WORK SURFACE: HEIGHT 34" MAX., 30" MIN LENGTH

#### 3 KEYED NOTES

- XX KEYNOTE TAG
- WXX WINDOW TAG; RE: WINDOW SCHEDULE
- XXX DOOR TAG; RE: DOOR SCHEDULE
- XX PARTITION TAG; RE: ASSEMBLIES
- EXTERIOR WALL - METAL PANELS
- CMU WALL

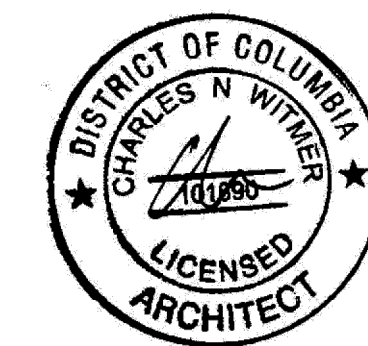
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- ENLARGED UNIT PLANS SEE A402-A410.
- GROSS BUILDING TABULATIONS SEE CT.01.
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- FIRE RATED PARTITIONS SEE EGRESS PLANS SC.06-SC.08, ASSEMBLIES A602-A603.
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#### 2 SHEET NOTES/LEGEND



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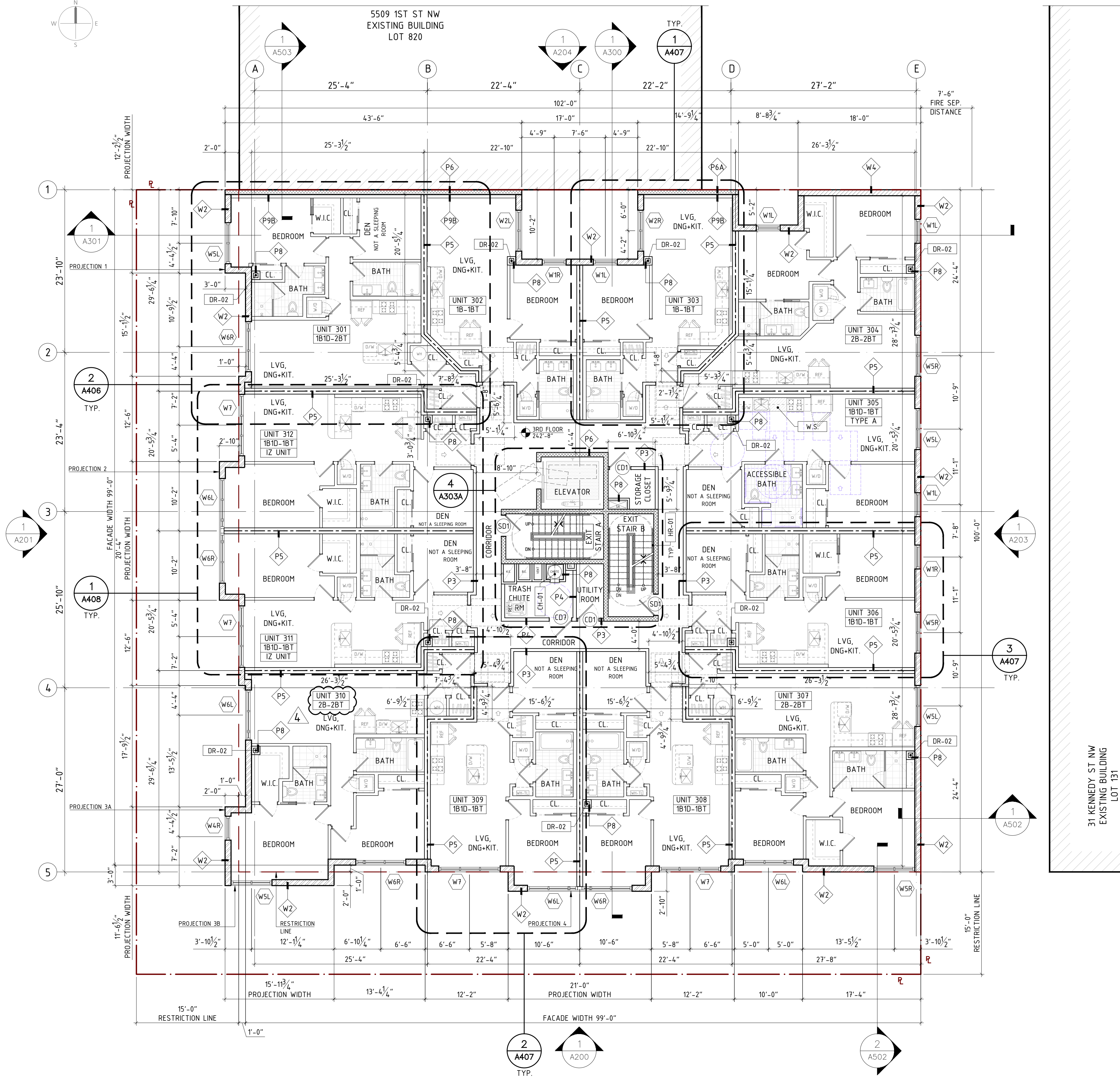
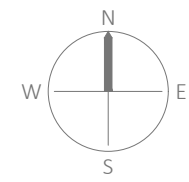
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| 3   | 05/17/23 | ROUND 3 DOB COMMENTS       |
| 4   | 07/03/23 | ROUND 4 DOB COMMENTS       |

SCALE: 1/8" = 1'-0"

PROJECT NUMBER:

SHEET TITLE  
**2ND FLOOR  
PLAN**

SHEET NUMBER  
**A104**



1 3RD FLOOR PLAN  
SCALE: 1/8"=1'-0"

Office of Planning June 9 2020

Calculating Width of Bay Windows, Oriels, Towers, and Show Windows  
2017 Code Update  
Façade Widths 16 to 24'  
24 feet  
Single Projection Width  
13 feet

Façade Widths 24' to 34'  
34 feet  
Single Projection Width  
14.666 feet

Façade Widths Over 34'  
99 feet  
Single Projection Width  
25.495 feet  
Multiple Projection Width  
47.1

PROPOSED WEST/SOUTH FAÇADE WIDTH: 99.00'

| WEST FAÇADE PROJECTIONS |                 |           |        |         |        |
|-------------------------|-----------------|-----------|--------|---------|--------|
| NAME                    | PROJECTION TYPE | WIDTH, FT |        | DEPTH   |        |
|                         |                 | ALLOWED   | PROP'D | ALLOWED | PROP'D |
| PROJECTION 1            | BAY WINDOW      | 25.50'    | 12.21' | 3.00' * | 2.00'  |
| PROJECTION 2            | BAY WINDOW      | 25.50'    | 20.33' | 3.00' * | 2.83'  |
| PROJECTION 3A           | BAY WINDOW      | 25.50'    | 11.54' | 3.00' * | 2.00'  |
| MULTIPLE PROJECTION     |                 | 47.10'    | 44.08' |         |        |

| SOUTH FAÇADE PROJECTIONS |                 |           |        |         |        |
|--------------------------|-----------------|-----------|--------|---------|--------|
| NAME                     | PROJECTION TYPE | WIDTH, FT |        | DEPTH   |        |
|                          |                 | ALLOWED   | PROP'D | ALLOWED | PROP'D |
| PROJECTION 3B            | BAY WINDOW      | 25.50'    | 15.98' | 3.00' * | 2.00'  |
| PROJECTION 4             | BAY WINDOW      | 25.50'    | 21.00' | 3.00' * | 2.83'  |
| MULTIPLE PROJECTION      |                 | 47.10'    | 36.98' |         |        |

1. \* - PER 12 DCMR 3202.10.3.3

4 PROJECTIONS CALCULATIONS

- CH-01 24" CHUTE: 16 GAUGE, ALUMINIZED STEEL; 15"W X 18"H BH TRASH DOOR W/ADA LEVER HANDLE W/LOCK
- DR-02 INTERNAL ROOF DRAIN
- HR-01 STAIR METAL HANDRAIL WITH ALUMINUM ROUND INFILL, METAL HANDRAIL; RE: A501A
- W.S. ADA WORK SURFACE: HEIGHT 34" MAX., 30" MIN LENGTH

3 KEYED NOTES

- XX KEYNOTE TAG
- WXX WINDOW TAG; RE: WINDOW SCHEDULE
- XXX DOOR TAG; RE: DOOR SCHEDULE
- XX PARTITION TAG; RE: ASSEMBLIES
- EXTERIOR WALL - METAL PANELS
- CMU WALL

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- ALL INTERIOR WALLS ARE TYPE P1 AT TYPE V-A CONSTRUCTION, U.N.O.
- ALL UNITS ARE TYPE B, U.N.O.
- ENLARGED UNIT PLANS SEE A402-A410.
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2 SHEET NOTES/LEGEND



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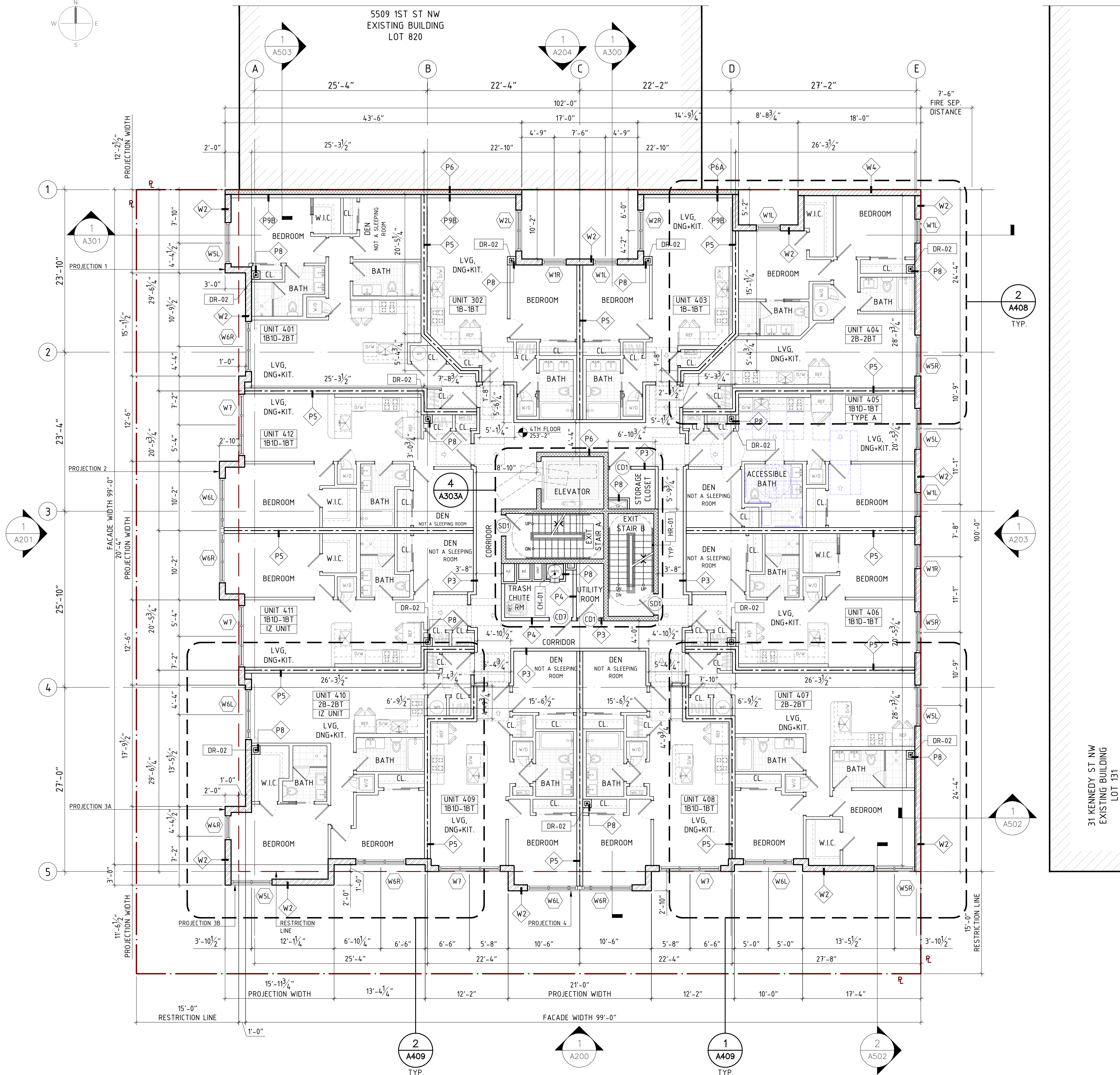
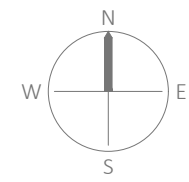


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| 3   | 05/17/23 | ROUND 3 DOB COMMENTS       |
| 4   | 07/03/23 | ROUND 4 DOB COMMENTS       |

SCALE: 1/8" = 1'-0"  
PROJECT NUMBER:

SHEET TITLE  
3RD FLOOR PLAN

SHEET NUMBER  
A105A



1 4TH FLOOR PLAN  
SCALE: 1/8"=1'-0"

Office of Planning

June 9 2020

Calculating Width of Bay Windows, Oriels, Towers, and Show Windows

2017 Code Update

Façade Widths 16 to 24'

24 feet

Single Projection Width

13 feet

Façade Widths 24' to 34'

34 feet

Single Projection Width

14.666 feet

Façade Widths Over 34'

99 feet

Single Projection Width

25.495 feet

Multiple Projection Width

47.1

PROPOSED WEST/SOUTH FAÇADE WIDTH: 99.00'

| WEST FAÇADE PROJECTIONS |                 |           |        |         |        |
|-------------------------|-----------------|-----------|--------|---------|--------|
| NAME                    | PROJECTION TYPE | WIDTH, FT |        | DEPTH   |        |
|                         |                 | ALLOWED   | PROP'D | ALLOWED | PROP'D |
| PROJECTION 1            | BAY WINDOW      | 25.50'    | 12.21' | 3.00' * | 2.00'  |
| PROJECTION 2            | BAY WINDOW      | 25.50'    | 20.33' | 3.00' * | 2.83'  |
| PROJECTION 3A           | BAY WINDOW      | 25.50'    | 11.54' | 3.00' * | 2.00'  |
| MULTIPLE PROJECTION     |                 | 47.10'    | 44.08' |         |        |

| SOUTH FAÇADE PROJECTIONS |                 |           |        |         |        |
|--------------------------|-----------------|-----------|--------|---------|--------|
| NAME                     | PROJECTION TYPE | WIDTH, FT |        | DEPTH   |        |
|                          |                 | ALLOWED   | PROP'D | ALLOWED | PROP'D |
| PROJECTION 3B            | BAY WINDOW      | 25.50'    | 15.98' | 3.00' * | 2.00'  |
| PROJECTION 4             | BAY WINDOW      | 25.50'    | 21.00' | 3.00' * | 2.83'  |
| MULTIPLE PROJECTION      |                 | 47.10'    | 36.98' |         |        |

1. \* - PER 12 DCMR 3202.10.3.3

4 PROJECTIONS CALCULATIONS

- CH-01 24" CHUTE: 16 GAUGE, ALUMINIZED STEEL; 15"W X 18"H  
BH TRASH DOOR W/ADA LEVER HANDLE W/LOCK
- DR-02 INTERNAL ROOF DRAIN
- HR-01 STAIR METAL HANDRAIL WITH ALUMINUM ROUND INFILL,  
METAL HANDRAIL; RE: A501A
- W.S. ADA WORK SURFACE: HEIGHT 34" MAX., 30" MIN LENGTH

3 KEYED NOTES

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- EXTERIOR WALL - METAL PANELS
- CMU WALL

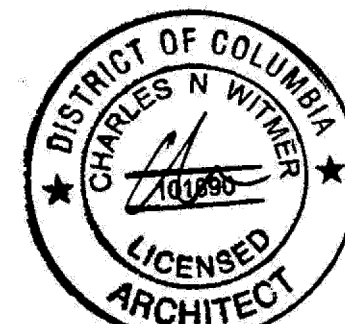
- ALL DIMENSIONS ARE FROM FINISH FACE WALL UNLESS NOTED OTHERWISE. MAINTAIN CLEAR DIMENSIONS AND COORDINATE ROUGH DIMENSIONS WITH FINIS SYSTEMS SPECIFIED.
- ALL WORK IS NEW, UNLESS NOTED OTHERWISE.
- ALL MATERIALS SHALL BE INSTALLED AS PER MANUFACTURER INSTRUCTIONS AND GUIDELINES.
- PROVIDE 1 1/4" CLOSET ROD AND WD SHELF IN ALL CLOSETS.
- ALL INTERIOR WALLS ARE TYPE P1A AT TYPE I-A CONSTRUCTION, U.N.O.
- ALL INTERIOR WALLS ARE TYPE P1 AT TYPE V-A CONSTRUCTION, U.N.O.
- ALL UNITS ARE TYPE B, U.N.O.
- ENLARGED UNIT PLANS SEE A402-A410.
- GROSS BUILDING TABULATIONS SEE CT.01.
- NET/GROSS AREA TABULATIONS AND TYPE A UNIT/IZ UNIT CALCULATIONS SEE CT.02-CT.03.
- FIRE RATED PARTITIONS SEE EGRESS PLANS SC.06-SC.08, ASSEMBLIES A602-A603.
- ELEVATOR EQUIPMENT: KONE MONOSPACE® 500 DX GEARLESS TRACTION ELEVATOR, FRONT OPENING, 4000 LBS CAPACITY. USED AS BASIS OF DESIGN.

2 SHEET NOTES/LEGEND



Owner:  
**Developer RE1 LLC**  
Address:  
1629 K Street NW, Suite 300  
Washington, DC 20006-1631

71 KENNEDY STREET NW  
5501 1ST ST NW  
WASHINGTON, DC 20011

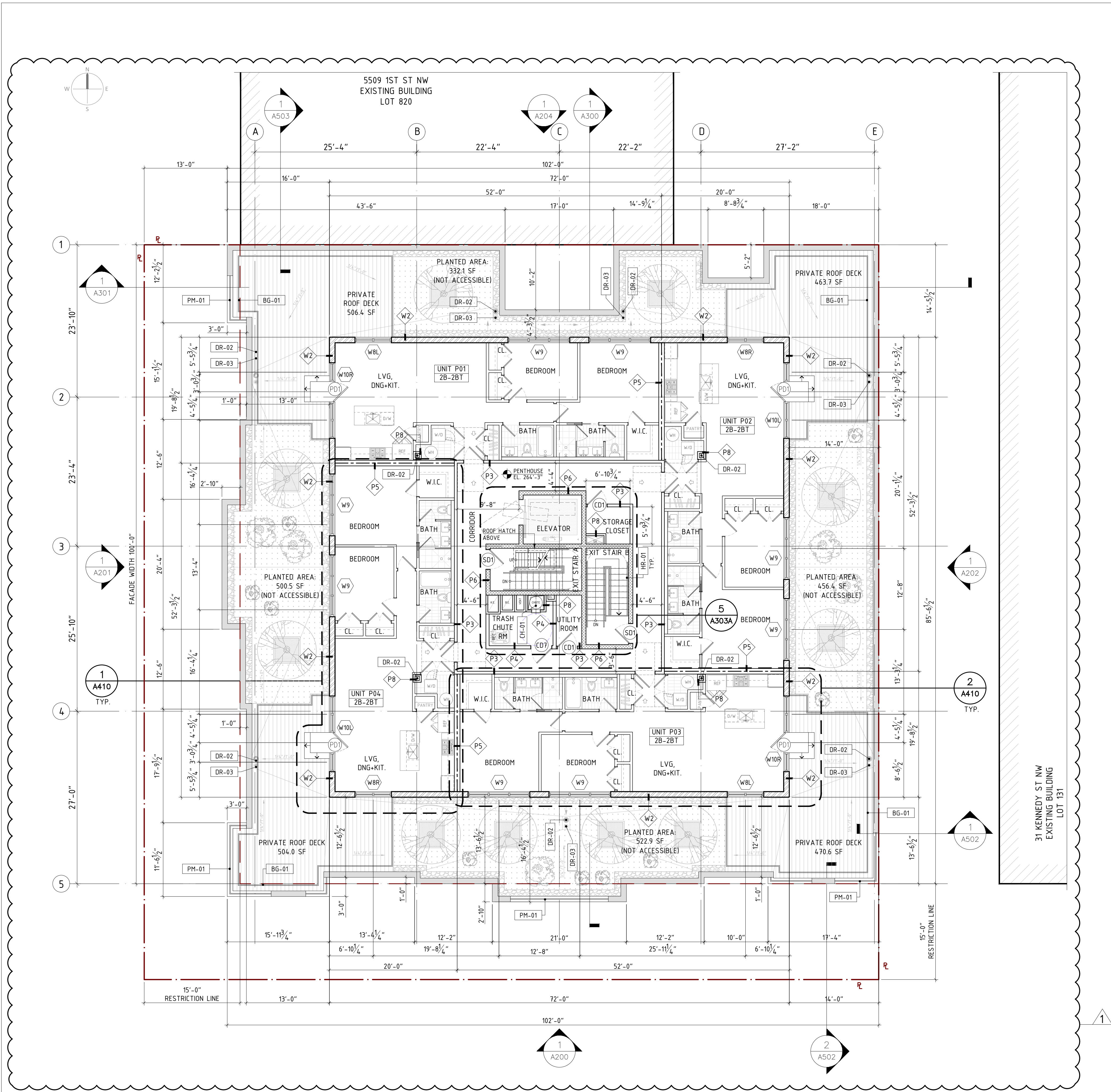


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| 2   | 05/16/18 | WASA Submission            |
| 3   | 09/18/18 | BZA Zoning Attorney Review |
| 4   | 05/01/19 | 100% set w/comments        |
| 5   | 02/20/22 | ROUND 1 DCRA COMMENTS      |

SCALE: 1/8" = 1'-0"  
PROJECT NUMBER:

SHEET TITLE  
**4TH FLOOR  
PLAN**

SHEET NUMBER  
**A105B**



1 PENTHOUSE FLOOR PLAN  
SCALE: 1/8"=1'-0"

- BG-01 GLASS GUARDRAIL W/WOOD HANDRAIL; 42" TALL  
MIN.; RE: A501A
- CH-01 24" CHUTE: 16 GAUGE, ALUMINIZED STEEL; 15"W X 18"H  
BH TRASH DOOR W/ADA LEVER HANDLE W/LOCK
- DR-02 INTERNAL ROOF DRAIN
- DR-03 OVERFLOW ROOF DRAIN
- HR-01 STAIR METAL HANDRAIL WITH ALUMINUM ROUND INFILL,  
METAL HANDRAIL; RE: A501A
- PM-01 METAL PAREPET

3 KEYED NOTES

- XX KEYNOTE TAG
- WXX WINDOW TAG; RE: WINDOW SCHEDULE
- XXX DOOR TAG; RE: DOOR SCHEDULE
- XX PARTITION TAG; RE: ASSEMBLIES
- EXTERIOR WALL - METAL PANELS
- CMU WALL
- VEGETATION FREE ZONE
- PRIVATE ROOF DECK
- GREEN ROOF

- ALL DIMENSIONS ARE FROM FINISH FACE WALL UNLESS NOTED OTHERWISE. MAINTAIN CLEAR DIMENSIONS AND COORDINATE ROUGH DIMENSIONS WITH FINIS SYSTEMS SPECIFIED.
- ALL WORK IS NEW, UNLESS NOTED OTHERWISE.
- ALL MATERIALS SHALL BE INSTALLED AS PER MANUFACTURER INSTRUCTIONS AND GUIDELINES.
- PROVIDE 1 1/4" CLOSET ROD AND WD SHELF IN ALL CLOSETS.
- ALL INTERIOR WALLS ARE TYPE P1A AT TYPE I-A CONSTRUCTION, U.N.O.
- ALL INTERIOR WALLS ARE TYPE P1 AT TYPE V-A CONSTRUCTION, U.N.O.
- ALL UNITS ARE TYPE B, U.N.O.
- ENLARGED UNIT PLANS SEE A402-A410.
- GROSS BUILDING TABULATIONS SEE CT.01.
- NET/GROSS AREA TABULATIONS AND TYPE A UNIT/IZ UNIT CALCULATIONS SEE CT.02-CT.03.
- FIRE RATED PARTITIONS SEE EGRESS PLANS SC.06-SC.08, ASSEMBLIES A602-A603.
- ELEVATOR EQUIPMENT: KONE MONOSPACE® 500 DX GEARLESS TRACTION ELEVATOR, FRONT OPENING, 4000 LBS CAPACITY. USED AS BASIS OF DESIGN.

2 SHEET NOTES/LEGEND



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WASHINGTON, DC 20011

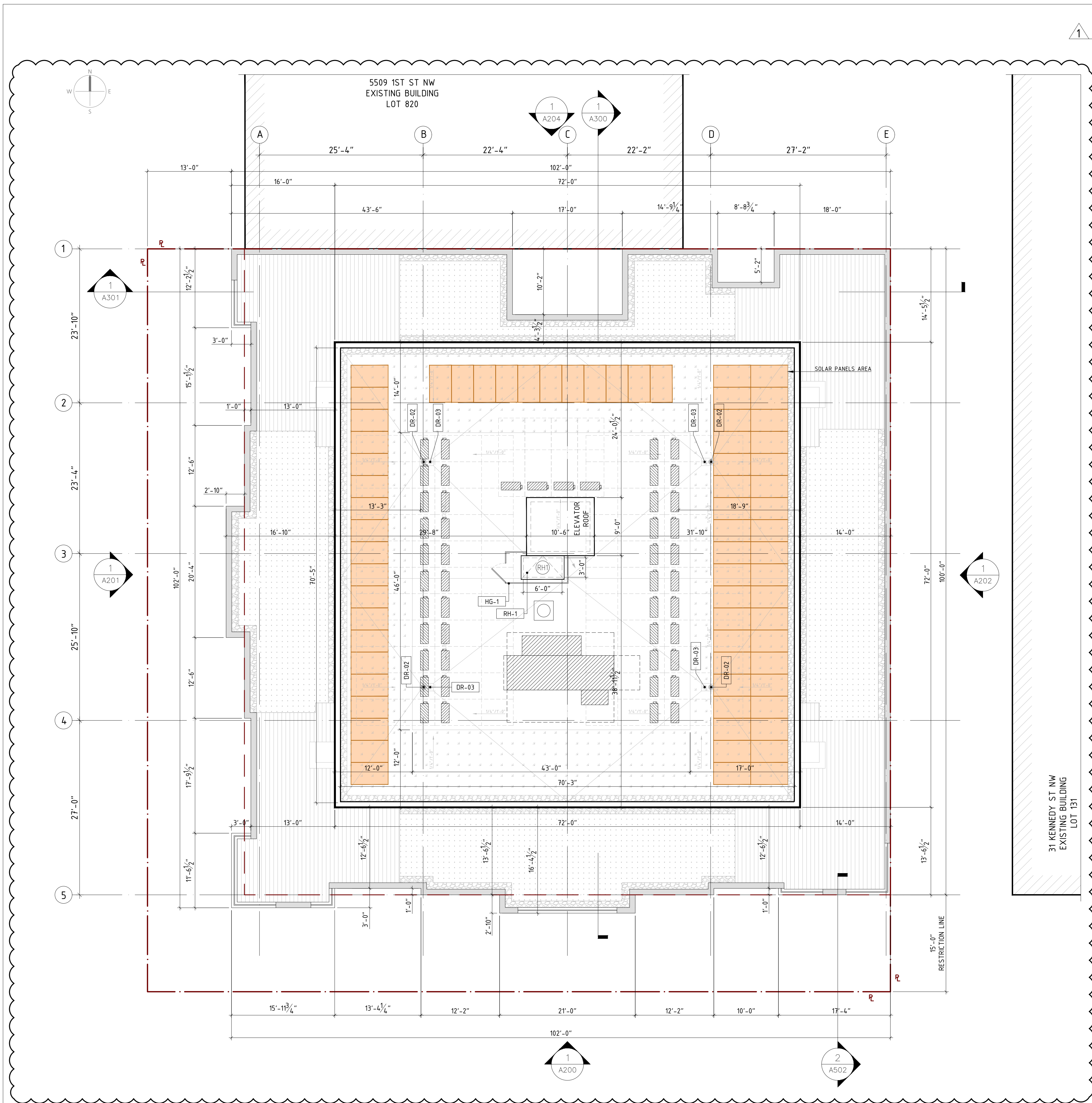


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| 1   | 02/20/22 | ROUND 1 DCRA COMMENTS      |

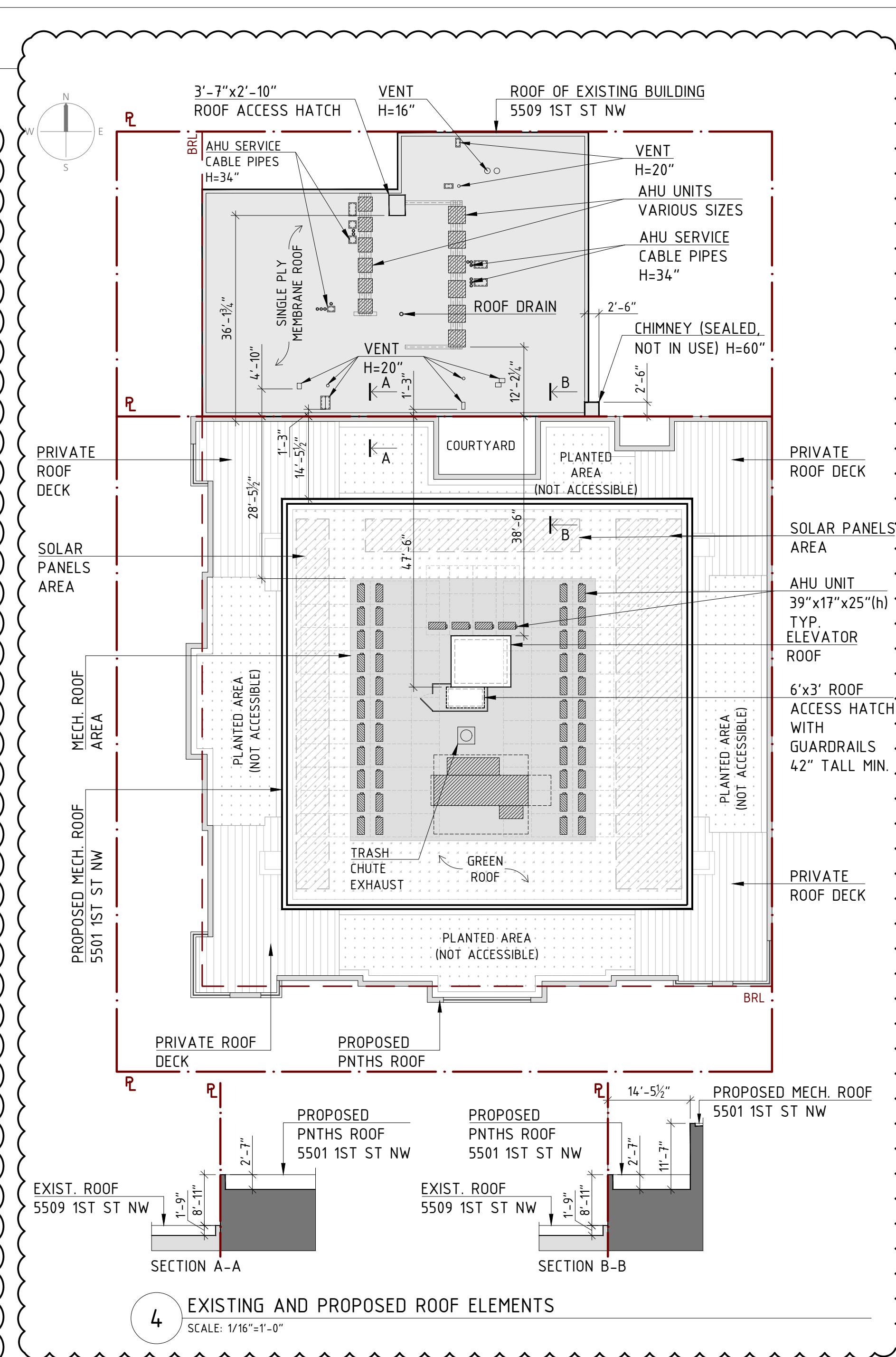
SCALE: 1/8" = 1'-0"  
PROJECT NUMBER:

SHEET TITLE  
**PENTHOUSE  
FLOOR PLAN**

SHEET NUMBER  
**A106**



1 PENTHOUSE ROOF/MECH PLATFORM PLAN  
SCALE: 1/8"=1'-0"



4 EXISTING AND PROPOSED ROOF ELEMENTS  
SCALE: 1/16"=1'-0"

- DR-02 INTERNAL ROOF DRAIN; RE: A501
- DR-03 OVERFLOW ROOF DRAIN; RE: A501
- HG-1 ROOF HATCH GUARDRAILS W/GATES, 42" TALL MIN. INSTALL PER MANUF. INSTRUCTIONS BY OTHERS, N.I.C.
- RH-1 ROOF HATCH 6'x3'; INSTALL PER MANUF. INSTRUCTIONS BY OTHERS, N.I.C.

3 KEYED NOTES

- (XXX) DOOR TAG; RE: DOOR SCHEDULE
- XX KEYNOTE TAG
- PRIVATE ROOF DECK
- VEGETATION FREE ZONE
- GREEN ROOF
- SOLAR PANELS AREA

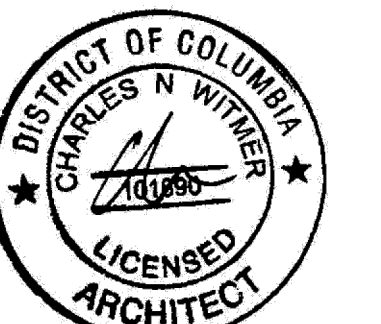
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2. ALL WORK IS NEW, UNLESS NOTED OTHERWISE.
3. ALL MATERIALS SHALL BE INSTALLED AS PER MANUFACTURER INSTRUCTIONS AND GUIDELINES.

2 SHEET NOTES/LEGEND



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| 4   | 05/01/19 | 100% set w/comments        |
| Δ   | 00/20/22 | ROUND 1 DCRA COMMENTS      |

SCALE: 1/8" = 1'-0"

PROJECT NUMBER:

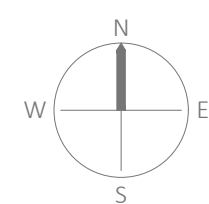
SHEET TITLE  
**PENTHOUSE ROOF/MECH.  
PLATFORM PLAN**

SHEET NUMBER  
**A107**

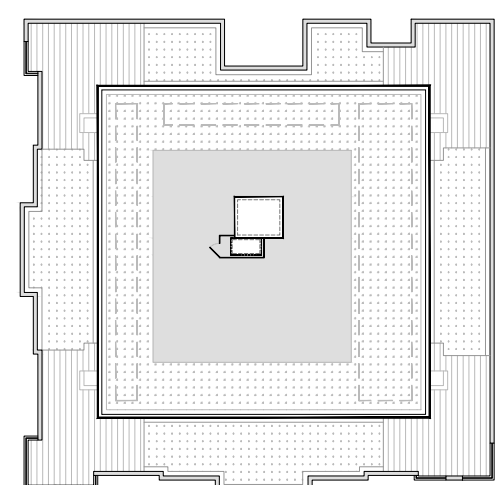




1 WEST ELEVATION @ 1ST STREET NW  
SCALE: 3/16"=1'-0"



WEST ELEVATION



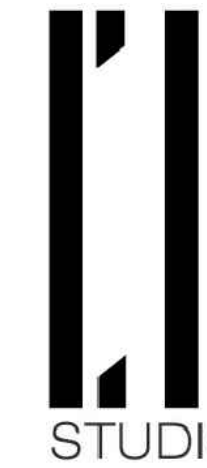
2 KEY PLAN  
N.T.S.

3 KEYED NOTES

- BG-01 GLASS GUARDRAIL W/WOOD HANDRAIL; 42" TALL MIN.; RE: A501A
- BR-01 BRICK VENEER WALL
- HG-1 ROOF HATCH GUARDRAILS W/GATES, 42" TALL MIN.; INSTALL PER MANUF. INSTRUCTIONS
- MC-01 METAL COPING; COLOR MATCH MP-01
- MP-01 METAL/ACM PANEL, LIGHT GRAY
- PC-01 PARGED CONCRETE
- PM-01 METAL PARAPET
- SB-01 DECORATIVE STEEL BEAM BELT COURSE, BLACK

- DOOR TAG; RE: DOOR SCHEDULE
  - WINDOW TAG; RE: WINDOW SCHEDULE
  - FINISH/MATERIAL/EQUIPMENT TAG
  - EMERGENCY ESCAPE/RESCUE OPENING (EER) MIN. REQUIRED EGRESS NET OPENING PER 1030.2 DCBC
  - MIN. 24" MIN. 5.7 SF MIN. MIN. 20"
- ALL WORK IS NEW, UNLESS NOTED OTHERWISE.
  - ALL MATERIALS SHALL BE INSTALLED AS PER MANUFACTURER INSTRUCTIONS AND GUIDELINES.
  - REFER TO WALL SECTIONS FOR DESCRIPTION OF ROOF / WALL ASSEMBLIES.
  - ALL EXISTING SURFACES INDICATED FOR PAINTING SHALL BE COMPLETELY STRIPPED USING CHEMICAL STRIPPER PRIOR TO NEW PAINT APPLICATION.
  - PLANS SEE A100-A107.
  - FIRE RATED PARTITIONS SEE EGRESS PLANS CS.06-CS.09, ASSEMBLIES A602-A603.
  - DOORS AND WINDOWS SCHEDULE SEE A600-A601.

4 SHEET NOTES/LEGEND



Owner:  
**Developer RE1 LLC**  
Address:  
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Washington, DC 20006-1631

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5501 1ST ST NW  
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| 4   | 05/01/19 | 100% set w/comments        |
| 1   | 00/20/22 | ROUND 1 DCRA COMMENTS      |

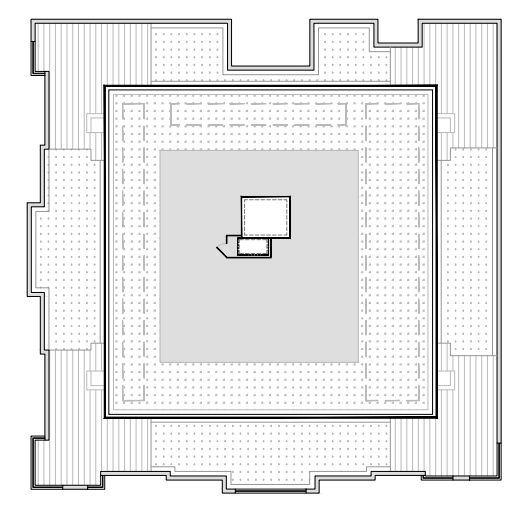
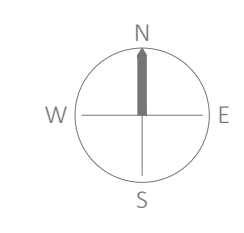
SCALE: 3/16" = 1'-0"  
PROJECT NUMBER:

SHEET TITLE  
**WEST ELEVATION**

SHEET NUMBER  
**A201**



1 EAST ELEVATION @ PROPOSED ALLEY  
SCALE: 3/16"=1'-0"



EAST ELEVATION

- BG-01 GLASS GUARDRAIL W/WOOD HANDRAIL; 42" TALL MIN.; RE: A501A
- BR-01 BRICK VENEER WALL
- HG-1 ROOF HATCH GUARDRAILS W/GATES, 42" TALL MIN.; INSTALL PER MANUF. INSTRUCTIONS
- MC-01 METAL COPING; COLOR MATCH MP-01
- MP-01 METAL/ACM PANEL, LIGHT GRAY
- PC-01 PARGED CONCRETE
- PM-01 METAL PARAPET
- PT-01 PAINTED, DARK GRAY
- SB-01 DECORATIVE STEEL BEAM BELT COURSE, BLACK

3 KEYED NOTES

- (X) DOOR TAG; RE: DOOR SCHEDULE
- (WXX) WINDOW TAG; RE: WINDOW SCHEDULE
- XX FINISH/MATERIAL/EQUIPMENT TAG

- ALL WORK IS NEW, UNLESS NOTED OTHERWISE.
- ALL MATERIALS SHALL BE INSTALLED AS PER MANUFACTURER INSTRUCTIONS AND GUIDELINES.
- REFER TO WALL SECTIONS FOR DESCRIPTION OF ROOF / WALL ASSEMBLIES.
- ALL EXISTING SURFACES INDICATED FOR PAINTING SHALL BE COMPLETELY STRIPPED USING CHEMICAL STRIPPER PRIOR TO NEW PAINT APPLICATION.
- PLANS SEE A100-A107.
- FIRE RATED PARTITIONS SEE EGRESS PLANS CS.06-CS.09, ASSEMBLIES A602-A603.
- DOORS AND WINDOWS SCHEDULE SEE A600-A601.

4 SHEET NOTES/LEGEND



Owner:  
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Washington, DC 20006-1631

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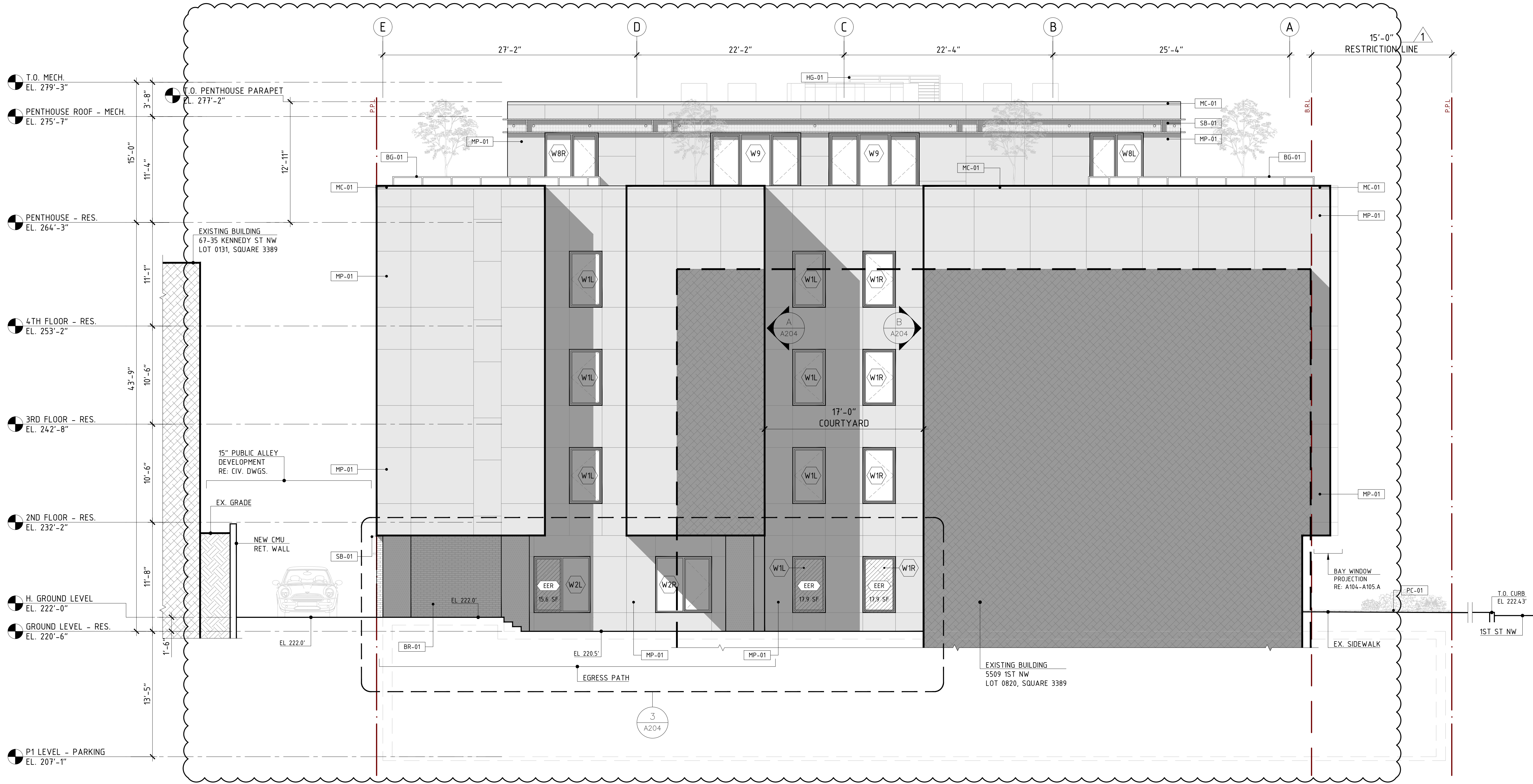


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| 4   | 05/01/19 | 100% set w/comments        |
| 1   | 00/20/22 | ROUND 1 DCRA COMMENTS      |

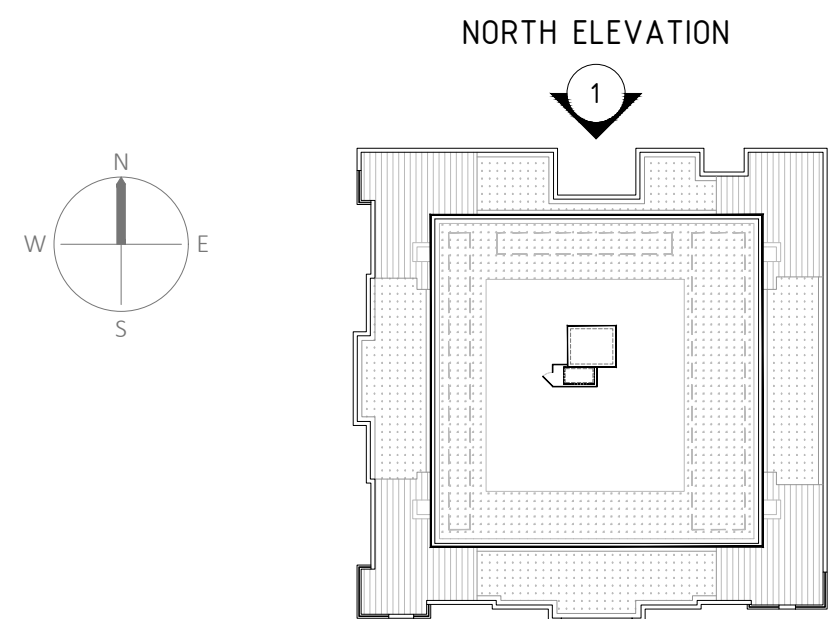
SCALE: 3/16" = 1'-0"  
PROJECT NUMBER:

SHEET TITLE  
**EAST ELEVATION**

SHEET NUMBER  
**A202**



1 NORTH ELEVATION @ 5509 1ST ST. BACK YARD  
SCALE: 3/16"=1'-0"

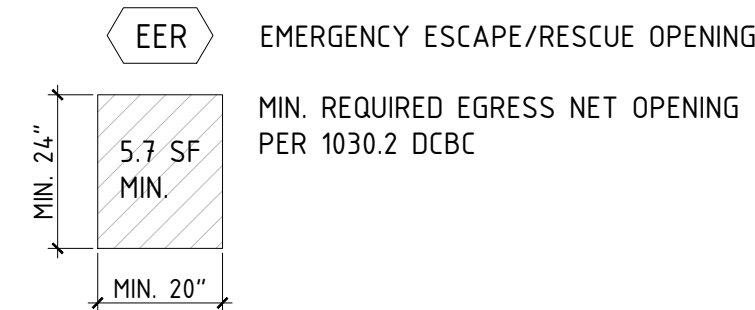


2 KEY PLAN  
N.T.S.

3 KEYED NOTES

- BG-01 GLASS GUARDRAIL W/WOOD HANDRAIL; 42" TALL MIN.; RE: A501A
- BR-01 BRICK VENEER WALL
- HG-1 ROOF HATCH GUARDRAILS W/GATES, 42" TALL MIN.; INSTALL PER MANUF. INSTRUCTIONS
- MC-01 METAL COPING; COLOR MATCH MP-01
- MP-01 METAL/ACM PANEL, LIGHT GRAY
- PC-01 PARGED CONCRETE
- SB-01 DECORATIVE STEEL BEAM BELT COURSE, BLACK

- WXX WINDOW TAG; RE: WINDOW SCHEDULE
- XX FINISH/MATERIAL/EQUIPMENT TAG



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- ALL MATERIALS SHALL BE INSTALLED AS PER MANUFACTURER INSTRUCTIONS AND GUIDELINES.
- REFER TO WALL SECTIONS FOR DESCRIPTION OF ROOF / WALL ASSEMBLIES.
- ALL EXISTING SURFACES INDICATED FOR PAINTING SHALL BE COMPLETELY STRIPPED USING CHEMICAL STRIPPER PRIOR TO NEW PAINT APPLICATION.
- PLANS SEE A100-A107.
- FIRE RATED PARTITIONS SEE EGRESS PLANS CS.06-CS.09, ASSEMBLIES A602-A603.
- DOORS AND WINDOWS SCHEDULE SEE A600-A601.

4 SHEET NOTES/LEGEND



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71 KENNEDY STREET NW  
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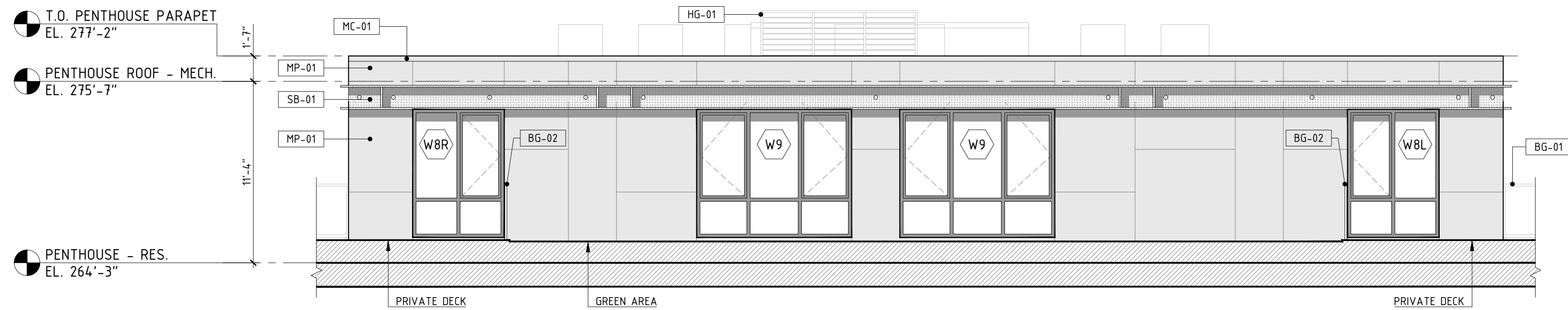
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| 4   | 05/01/19 | 100% set w/comments        |
| 1   | 00/20/22 | ROUND 1 DCRA COMMENTS      |

SCALE: 3/16" = 1'-0"  
PROJECT NUMBER:

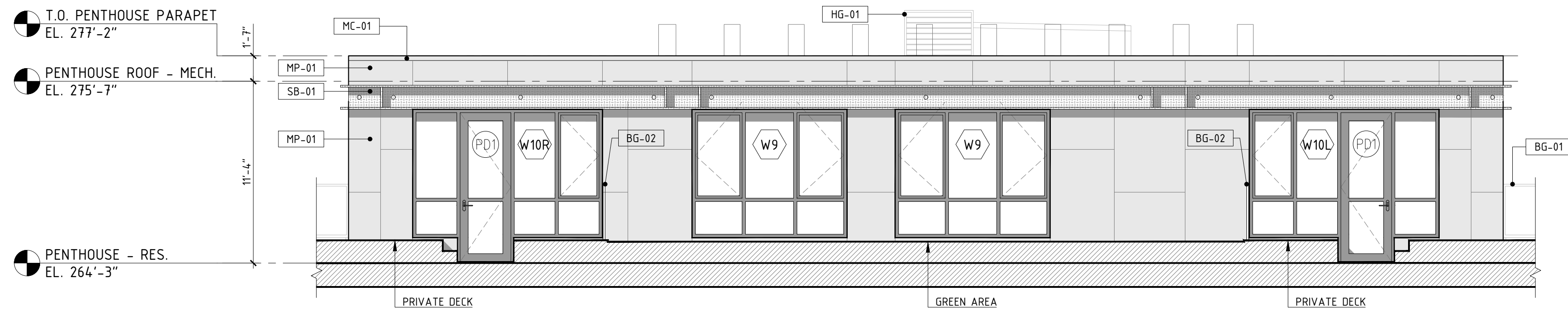
SHEET TITLE  
**NORTH ELEVATION**

SHEET NUMBER

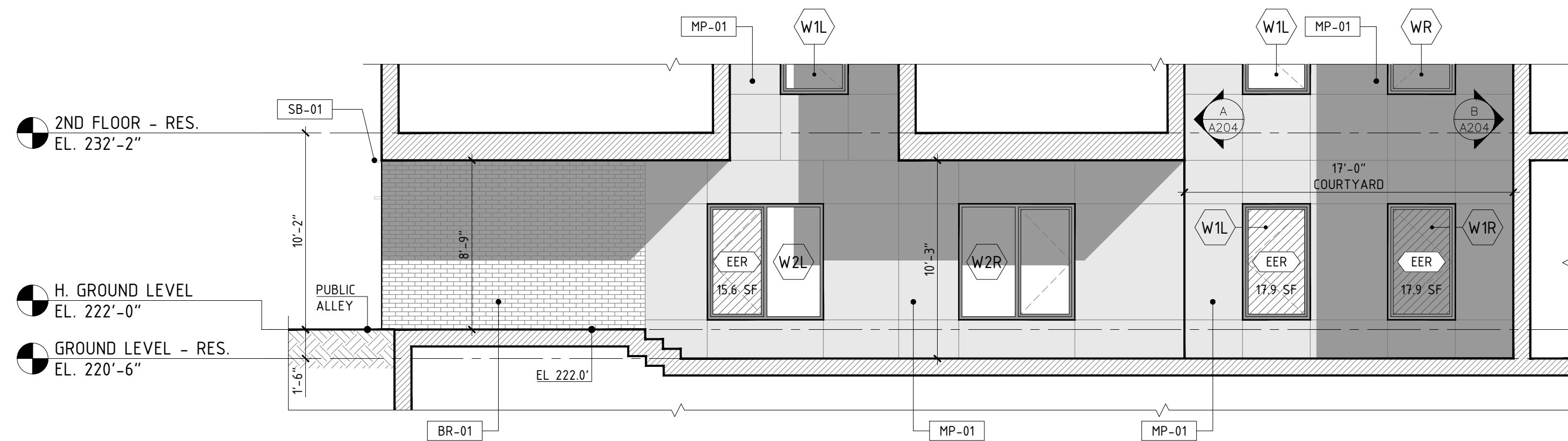
**A203**



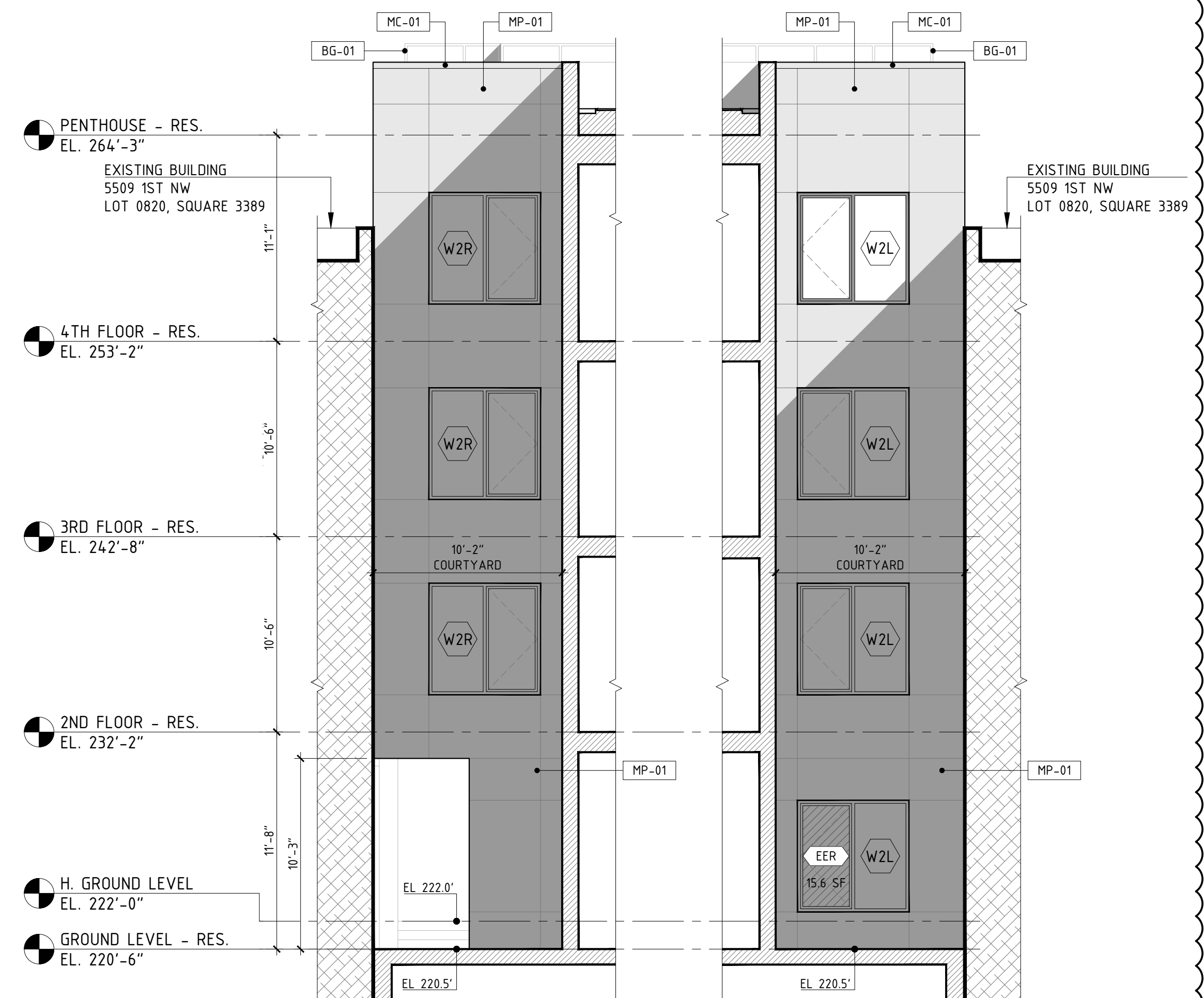
1 PARTIAL ELEVATION, TYP. - PENTHOUSE  
3/16"=1'-0"



2 PARTIAL ELEVATION, TYP. - PENTHOUSE  
3/16"=1'-0"



3 PARTIAL ELEVATION - EGRESS PATH/COURTYARD  
3/16"=1'-0"



A PARTIAL ELEVATION - VIEW A  
3/16"=1'-0"

B PARTIAL ELEVATION - VIEW B  
3/16"=1'-0"

- BG-01 GLASS GUARDRAIL W/WOOD HANDRAIL; 42" TALL MIN.; RE: A501A
- BG-02 METAL GUARDRAIL WITH ALUMINUM SQUARE INFILL, WOOD HANDRAIL; 42" TALL MIN.
- BR-01 BRICK VENEER WALL
- MC-01 METAL COPING; COLOR MATCH MP-01
- MP-01 METAL/ACM PANEL, LIGHT GRAY
- SB-01 DECORATIVE STEEL BEAM BELT COURSE, BLACK

#### 4 KEYED NOTES

- X DOOR TAG; RE: DOOR SCHEDULE
- WXX WINDOW TAG; RE: WINDOW SCHEDULE
- XX FINISH/MATERIAL/EQUIPMENT TAG
- EER EMERGENCY ESCAPE/RESCUE OPENING
- MIN. 24" 5.7 SF MIN. MIN. 20" MIN. REQUIRED EGRESS NET OPENING PER 1030.2 DCBC

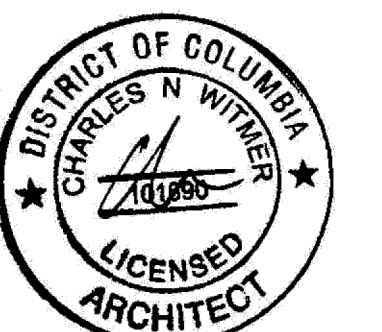
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4. ALL EXISTING SURFACES INDICATED FOR PAINTING SHALL BE COMPLETELY STRIPPED USING CHEMICAL STRIPPER PRIOR TO NEW PAINT APPLICATION.
5. PLANS SEE A100-A107.
6. FIRE RATED PARTITIONS SEE EGRESS PLANS CS.06-CS.09, ASSEMBLIES A602-A603.
7. DOORS AND WINDOWS SCHEDULE SEE A600-A601.

#### 5 SHEET NOTES/LEGEND



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| 4   | 05/01/19 | 100% set w/comments        |
| A   | 00/20/22 | ROUND 1 DCRA COMMENTS      |

SCALE: 3/16" = 1'-0"  
PROJECT NUMBER:

SHEET TITLE  
**PARTIAL ELEVATIONS**

SHEET NUMBER  
**A204**